



APPLICATION FOR SPECIAL LAND USE

Fee: \$350.00 for a special meeting and public hearing
 \$250.00 for a regular meeting and public hearing

5095 4th Street • Eagle River, MI 49950 • (906) 337-3471 • FAX (906) 337-2253

ALL INFORMATION IS REQUIRED

Date	6/10/21	Parcel ID Number	42-101-27-300-008
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Email:

Property Owner(s) Name			ALLOVEZ TOWNSHIP			Applicant(s) Name			TRAVERSE ENGINEERING SERVICES				
Mailing Address			102 2ND STREET			Mailing Address			701 HANCOCK STREET				
City		MOHAWK	State	MI	Zip code	49950	City		HANCOCK	State	MI	Zip code	49930
Day Phone		Evening Phone		Day Phone		482-6696	Evening Phone						

THIS APPLICATION MUST BE SIGNED BY THE PROPERTY OWNER(S) OR THE OWNER MAY PROVIDE A LETTER AUTHORIZING THE APPLICANT TO ACT ON THEIR BEHALF.

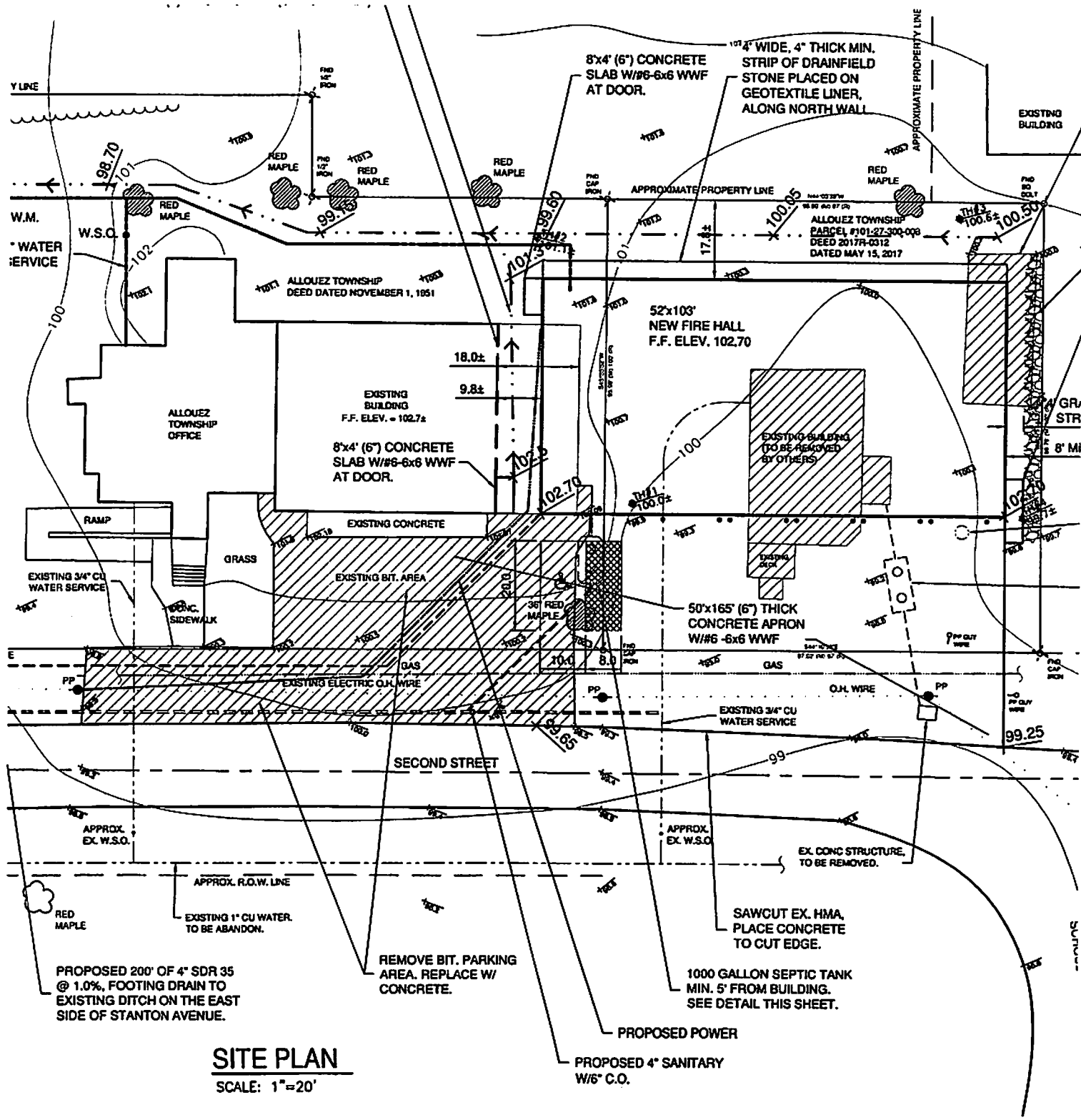
Special Land Use Being Requested	REAR YARD SETBACK	Property Address	102 2 nd STREET	Total Existing Acreage	
Zoning of Property	R-1B	Location of Property:	side of	Road.	
Master Plan Designation of Property		Between	and	Roads.	
Zoning of Surrounding Parcels	North:	South:	East:	West:	
List below or attach legal description of property.					
WARRANTY DEED 2017R-0312					
List below or attach all deed restrictions.					
NONE					
Briefly describe the proposed land use and attach a written narrative addressing the "standards for approval" pursuant to Article 10 Section 5.1 of the Keweenaw County Zoning Ordinance.					
PLEASE SEE ATTACHED.					

A COMPLETE SITE PLAN CONTAINING ALL OF THE APPLICABLE DATA OUTLINED IN ARTICLE 10 SECTION 5.1 OF THE KEWEENAW COUNTY ZONING ORDINANCE MUST ACCOMPANY THIS APPLICATION.

Owner(s) Signature:	<i>M.W. Al</i>	I hereby grant permission for members of the Planning Commission and Zoning Administrator to enter the above described property for the purpose of gathering information related to this application.
Applicant(s) Signature (if other than owner):	<i>[Signature]</i>	
Signature and Date:		<i>M.W. Al 06/10/2021</i>

DO NOT WRITE BELOW THIS LINE – KEWEENAW COUNTY USE ONLY

Date Received	6-10-2021	Application Fee		Receipt Number	
Publication Date	6-11-2021	Date Notices Mailed	6-11-2021	Public Hearing Date	6/27/2021
<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED <input type="checkbox"/> APPROVED WITH CONDITIONS (List or attach)					
CONDITIONS:					



SITE PLAN

SCALE: 1"=20'



Allouez Township Standards for Approval - 10.12.29 Public Buildings and 18.5.11:

Allouez Township had been planning and designing a new fire hall since 2016. The new fire station is at the same location of the existing fire hall. This structure is designed to house existing apparatus and to improve fire protection services.

A. No building, structure (except for flagpoles), or use shall be located within thirty (30) feet of a residential zoned parcel or use.

The parcel to the North of the facility Owned by Brian & Marlene Sickler have been in close contact with the Township as well as the Engineer and have no objections to the new construction.

B. If located in a Residential District, all buildings and structures shall be designed to be compatible with the character of the surrounding neighborhood.

The front elevation of the fire house will be compatible with the character of the neighborhood having LP Smart siding with poured concrete. The sides are constructed of exterior metal, the roof will be membrane. All designed to meld with the neighborhood.

C. Off-street parking shall be screened from adjacent residential uses or Districts per the requirements of Article XIV.

Due to the nature of the facility, off street parking is not available.

D. The outdoor storage of trash or rubbish shall be screened per the requirements of Section 15.5.3.

N/A

E. The property shall be suitably landscaped per the requirements of Article XV.

The lot will have improved site drains to support rain and spring runoff for the area. A swale is designed to carry water from the parcel to the existing ditch running parallel with Stanton Ave.

F. Signs shall conform with the requirements of Article XVI.

The signage on the front of the building is in 12-inch letters and is in compliance.

M. W. Al, ALLOUEZ TOWNSHIP SUPERVISOR

NOTICE OF PUBLIC HEARING
Keweenaw County Planning Commission

The Keweenaw County Planning Commission will meet at 4:00 PM on Tuesday June 29, 2021, at the Keweenaw County Courthouse 5095 Fourth Street Eagle River Michigan. The reason for the meeting is to review and take public comment on a proposed special use request for a new fire hall:

Special Use Permit Public Hearing:	4:00 PM, June 29, 2021
Location of Hearing:	Keweenaw County Courthouse
Address of Special Use Request:	East of 102 Second Street, Mohawk
Parcel Number:	42-101-27-300-008
Zoning:	R-1B
Property Owners:	Allouez Township
Applicant:	Traverse Engineering Services
Applicant Contact:	906-482-6696

A copy of the complete application package is available on the County Website, <http://keweenawcountyonline.org/index.php>

The public may appear at the hearing via ZOOM or in person or by counsel, be heard and submit evidence and written comments with respect to the application. Written comments will be received until end of business the day prior to the hearing at the County Courthouse at 5095 Fourth Street Eagle River. ADA access will be accommodated via zoom.

If the State of Michigan changes the indoor capacity requirements, due to COVID-19, in-person attendance at the hearing will not be allowed. The hearing will occur as scheduled, but attendance will only be allowed by Zoom, copies and any written evidence will need to be submitted prior to the hearing.

Ann Gasperich, Zoning Administrator



Keweenaw County
Planning Commission
Eagle River, Michigan
June 9, 2021

Dear Property Owner,

Because you own property in Allouez Township, Keweenaw County that is within 300 feet of a parcel of land that is involved in a request for a Special Land Use permit, you are being informed of the Keweenaw County Planning Commission Public Hearing on June 29, 2021, at 4:00 p.m. at the Keweenaw County Courthouse, 5095 4th Street, Eagle River, MI.

Special Use Permit Public Hearing:	4:00 PM, June 29, 2021
Location of Hearing:	Keweenaw County Courthouse, Eagle River
Address of Special Use Request:	East of 102 Second Street, Mohawk
Parcel Number:	42-101-27-300-008
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Property Owners:	Allouez Township
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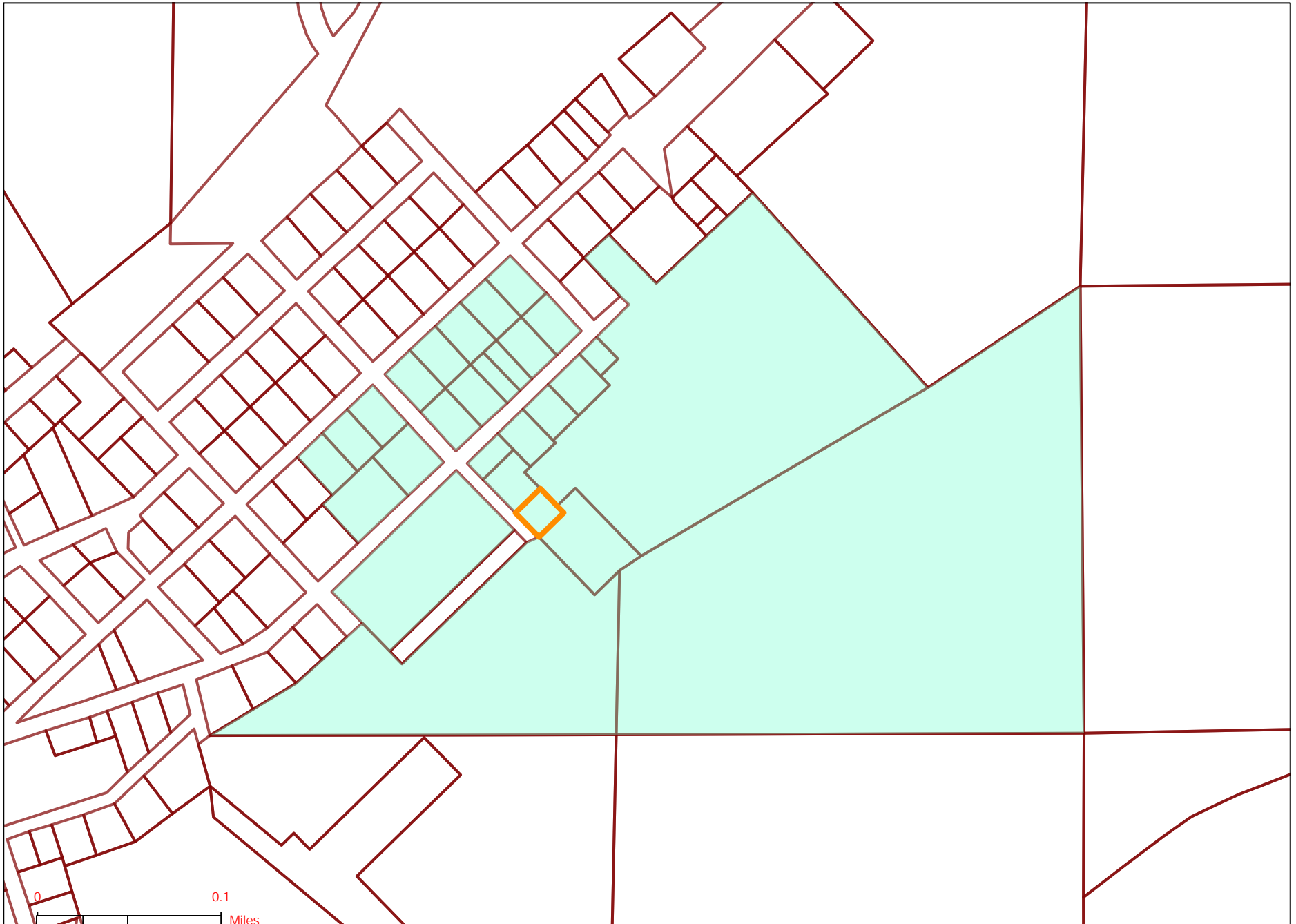
Allouez Township has proposed construction of a fire hall on a parcel of land zoned R-1B (Single Family Residential District). This parcel of land is within 300 feet of your property. The use of the described land as a location for a replacement fire hall, a public building, is a permitted use in the zoning district with approval of the Special Land Use after review by the Planning Commission and issuance of a permit by the Keweenaw County Board of Commissioners.

The public hearing is your opportunity for public comment. Written comments may also be mailed to: Zoning Administrator, 5095 4th Street, Eagle River, MI 49950. Written comments should be received by end of business the day prior to the public hearing.

Respectfully Submitted,

Ann Gasperich
Zoning Administrator
Keweenaw County

PUBLIC HEARING 300' MAP





WARNING

UTILITY LOCATIONS ARE NOT CONFIRMED. THOSE SHOWN WERE OBTAINED FROM UTILITY OWNERS. THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK THE CONTRACTOR SHALL NOTIFY UTILITY OWNERS TO HAVE WORK AREA STAKED AND HE SHALL PROTECT OR HAVE RELOCATED, AS NOTED IN THE SPECIFICATION, ALL UTILITIES THAT MIGHT INTERFERE WITH CONSTRUCTION.

UTILITIES

UPPER PENINSULA POWER COMPANY
W. HOUGHTON SERVICE CENTER
CANAL ROAD
HOUGHTON, MICHIGAN 49931
TELEPHONE: (906)483-4561

AT&T
211 EAST B STREET
IRON MOUNTAIN, MICHIGAN 49801
TELEPHONE: (906)396-

CHARTER COMMUNICATIONS
1603 ENTERPRISE DRIVE
HOUGHTON, MICHIGAN 49931
TELEPHONE: (906)553-7838

MICHIGAN-AMERICAN WATER
311 FIFTH STREET
CALUMET, MICHIGAN 49913
TELEPHONE: (906)337-3502

ALLOUEZ TOWNSHIP
102 SECOND STREET
P.O. BOX 64
MOHAWK, MICHIGAN 49950
TELEPHONE: (906)337-2302

ALLOUEZ TOWNSHIP KEWEENAW COUNTY, MICHIGAN FIRE HALL BUILDING 2021

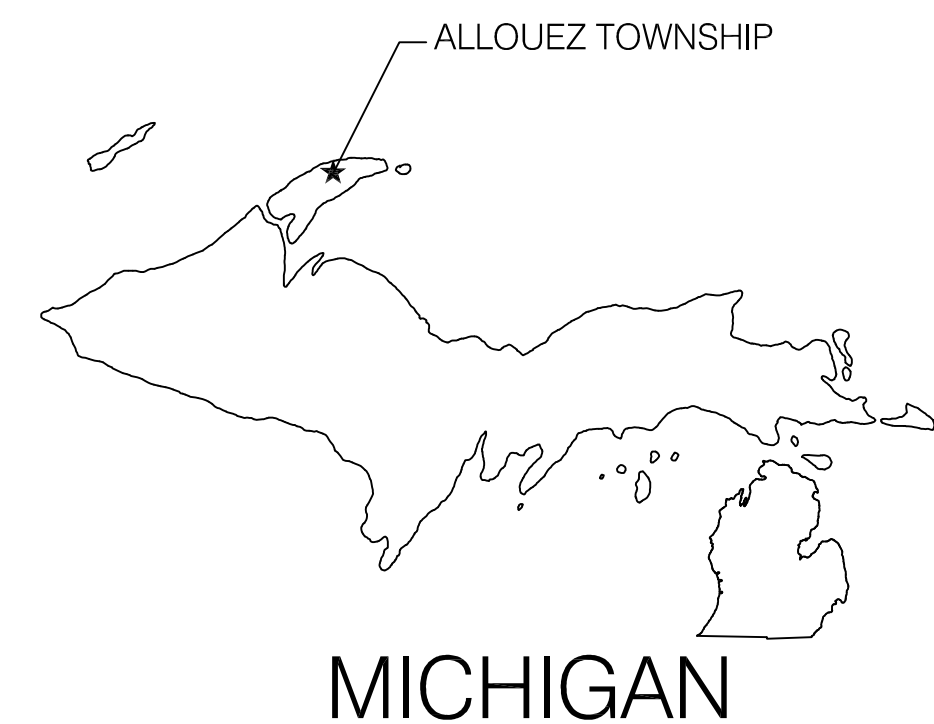
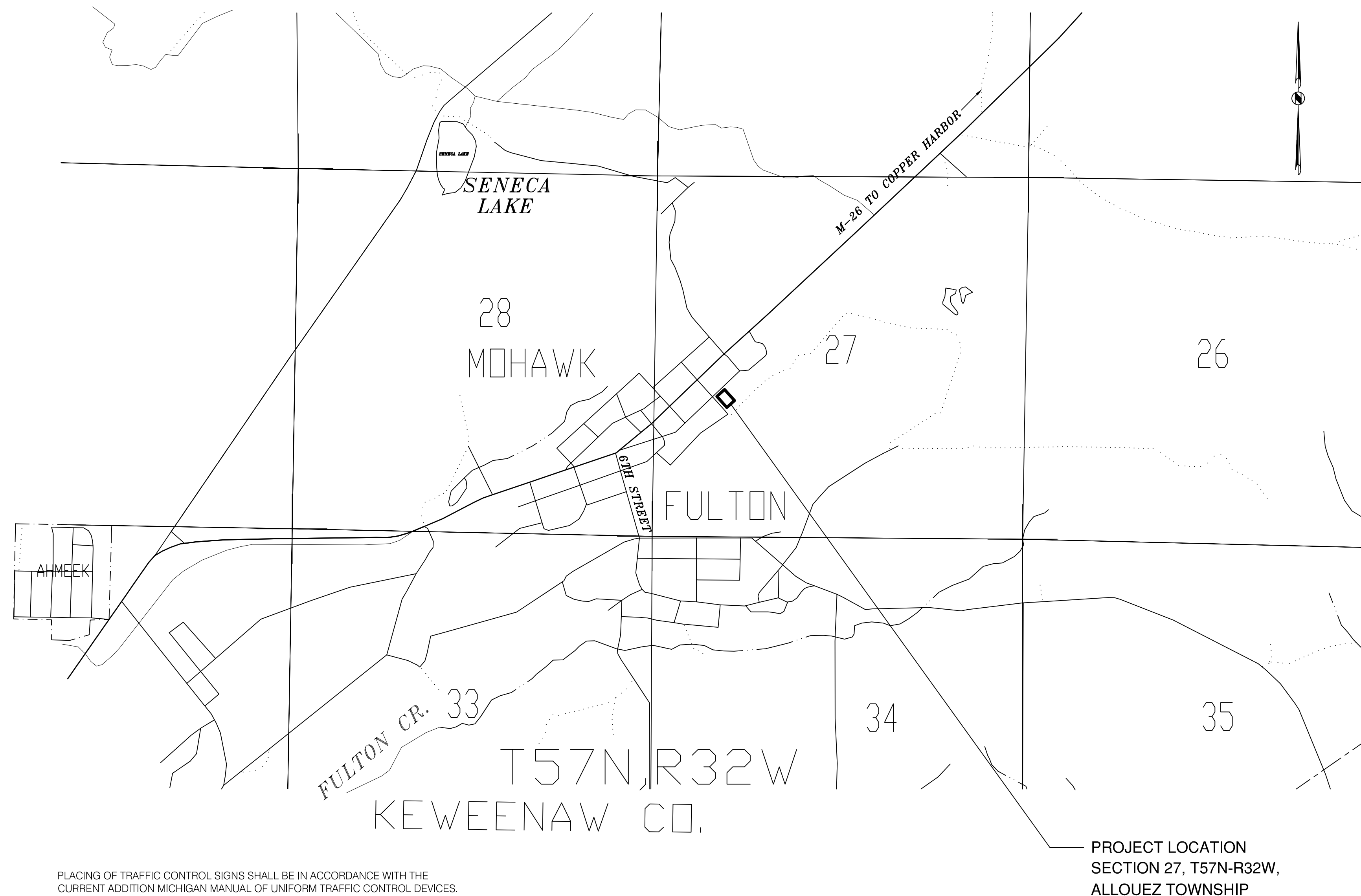
DOCUMENTS USED FOR:

PRELIMINARY REVIEW	<input type="checkbox"/>
REVIEW/APPROVAL	<input type="checkbox"/>
BIDDING	<input type="checkbox"/>
CONSTRUCTION	<input type="checkbox"/>
AS-BUILT	<input type="checkbox"/>
DATE ISSUED:	_____

ALLOUEZ TOWNSHIP

MARK AHO	SUPERVISOR
TRUDI HAATAJA	CLERK
JULIE NEWMAN	TREASURER
ROGER HAATAJA	TRUSTEE
JOHN KAURA	TRUSTEE

SHEET	DESCRIPTION
1	TITLE SHEET
2	SITE PLAN AND DETAILS
3	FOUNDATION PLAN AND DETAILS
4	FLOOR PLAN AND DETAILS
5	EXTERIOR ELEVATIONS AND ROOF PLAN
6	BUILDING SECTIONS AND DETAILS
7	EXISTING BUILDING FLOOR PLAN AND WALL SECTION
8	PLUMBING AND MECHANICAL PLAN AND DETAILS
9	ELECTRICAL PLAN AND DETAILS
10	STANDARD WATER DETAILS
11	EROSION CONTROL DETAILS



PLACING OF TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE CURRENT ADDITION MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION AS AMENDED BY SUPPLEMENTAL SPECIFICATIONS AND OR PROJECT SPECIFICATIONS.

PROJECT LOCATION
SECTION 27, T57N-R32W,
ALLOUEZ TOWNSHIP

Owner: ALLOUEZ TOWNSHIP

By: _____ Date: _____

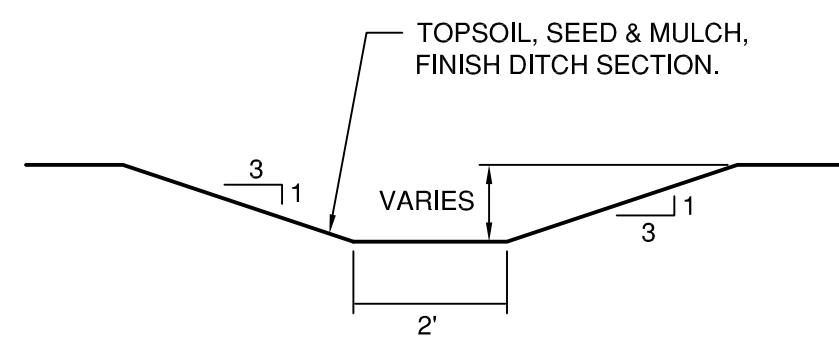
Engineer: TRAVERSE ENGINEERING SERVICES, P.C.

By: _____ Date: _____

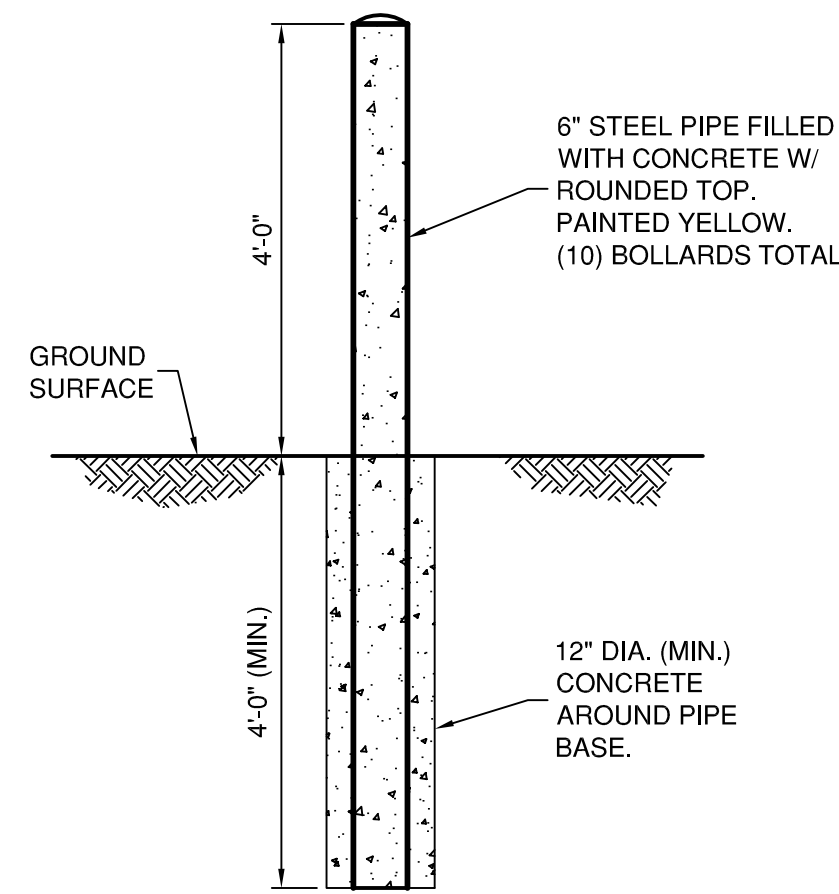
Contractor:

By: _____ Date: _____

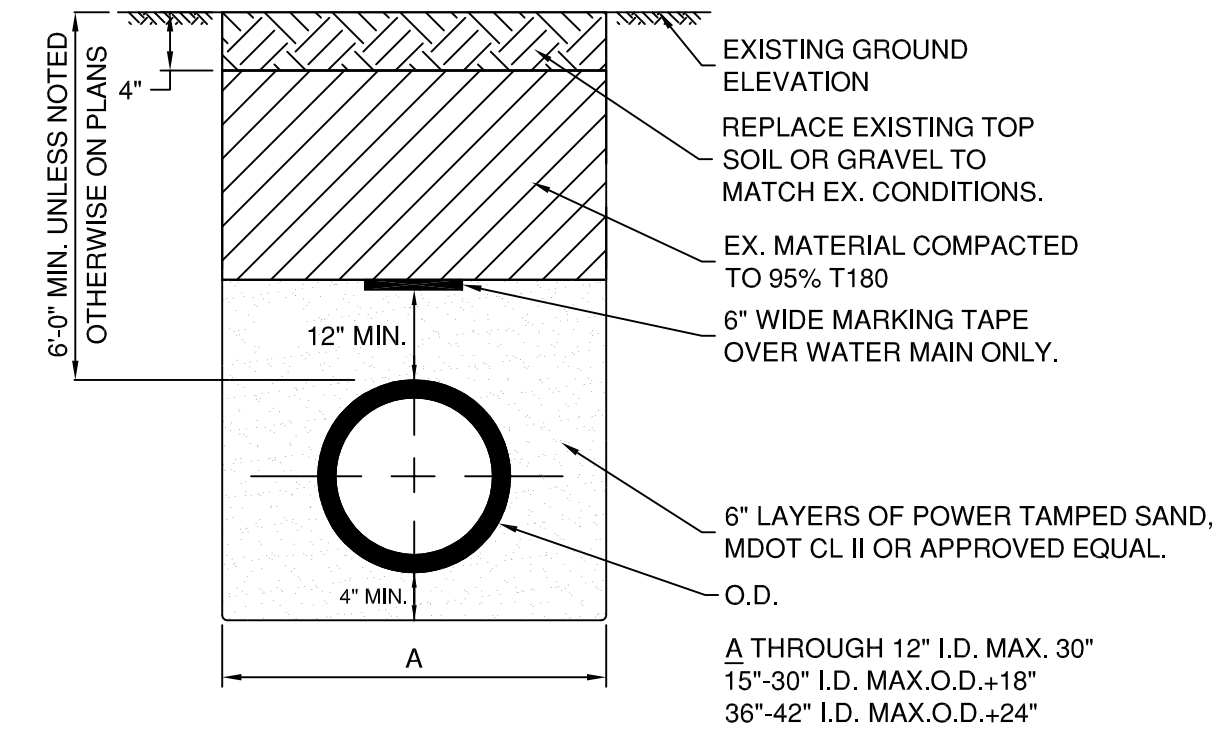
BENCHMARK BM#1 ELEV. = 99.69
 TOP OF 4" NOZZLE HYD LOCATED AT THE
 SOUTHEAST CORNER OF SECOND ST.
 AND STANTON AVE. 200'± NORTHWEST OF LOT.



TYPICAL SWALE DETAIL
 SCALE: N.T.S.

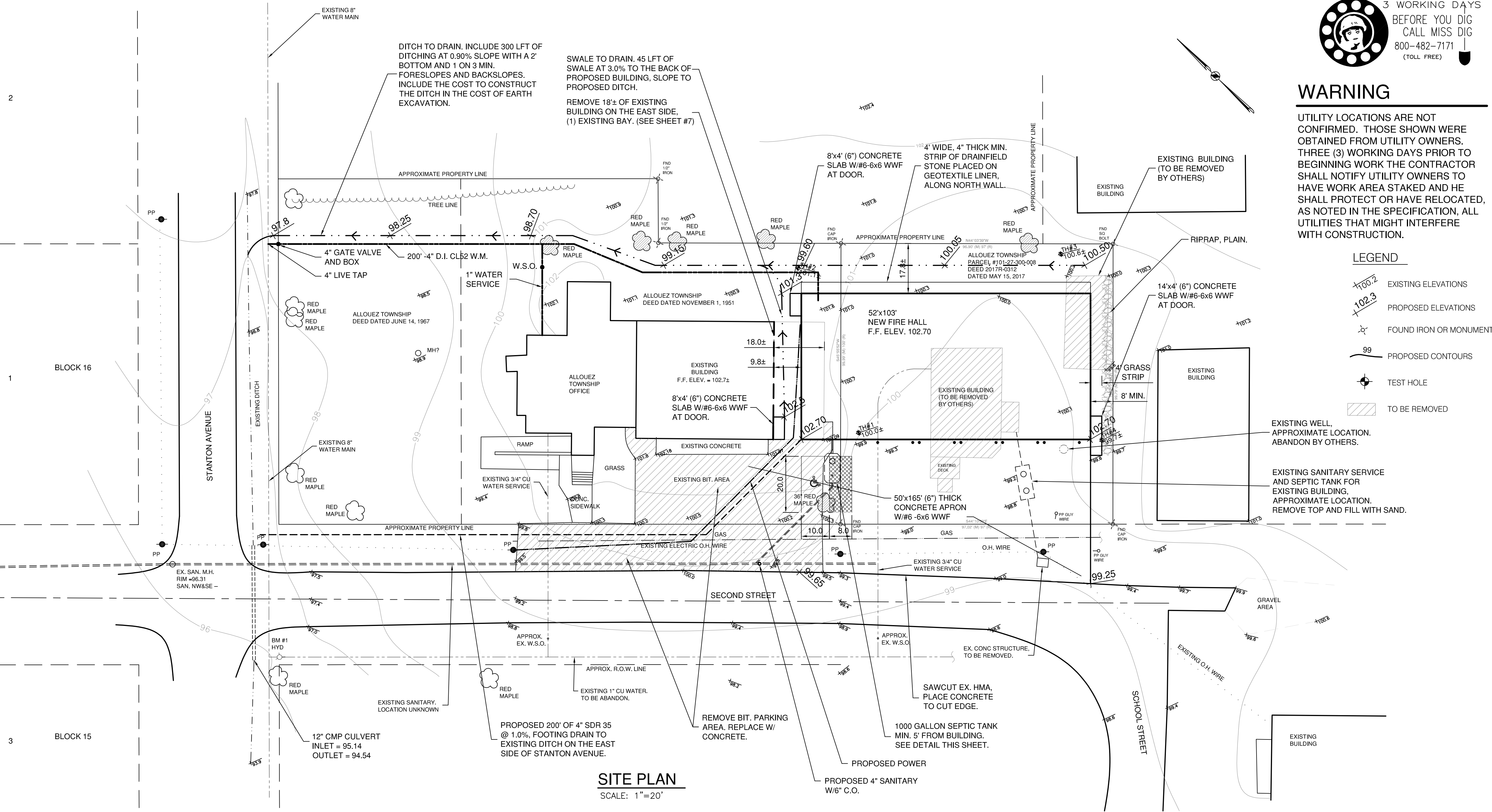


BOLLARD DETAIL
 SCALE: N.T.S.



**STANDARD FOOTING DRAIN AND
 WATER MAIN BEDDING & BACKFILL**
 SCALE: N.T.S.

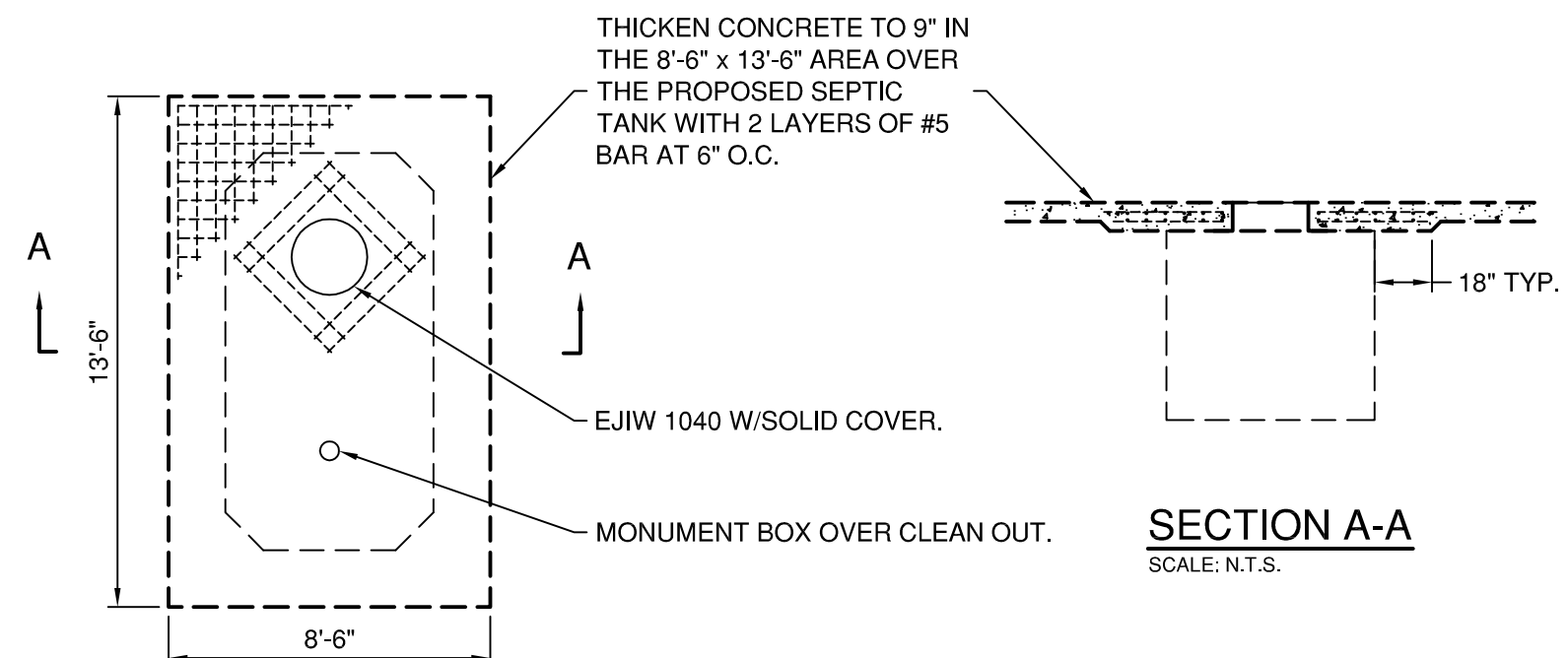
ALLOUEZ FIRE HALL PROPERTY
 PARCEL # 101-27-300-008 AS RECORDED
 IN KEWEENAW COUNTY RECORDS,
 WARRANTY DEED 2017R-0312.
 USE GROUP: B - BUSINESS GROUP
 S-2 LOW HAZARD STORAGE
 TYPE OF CONSTRUCTION: VB
 ZONING: R1-B
 OCCUPANTY LOAD: 25



SITE PLAN
 SCALE: 1"=20'

- NOTES:
- THE GENERAL CONTRACTOR IS REQUIRED TO SECURE A PERMIT FROM KEWEENAW COUNTY ROAD COMMISSION. SEE INFORMATION FOR BIDDERS IN THE PROJECT SPECIFICATIONS.
 - RESTORE ALL AREA DISTURBED DURING CONSTRUCTION WITH 4" SCREENED SALVAGED TOPSOIL, FERTILIZER, MDTM THM SEED MIXTURE AND MULCH BLANKET.
 - THE FOOTING DRAINS SHALL OUTLET TO THE EAST CORNER OF INTERSECTION OF STANTON AVENUE AND SECOND STREET WITH 4" SDR 35 PVC.
 - THE EXISTING SEPTIC TANK WILL BE PUMPED OUT AND THE EXISTING WELL ABANDONED BY OWNER BEFORE THE PROJECT BEGINS.
 - THE REMOVAL OF THE 8 TREES AND STUMPS ARE PART OF THE CONTRACT AND WILL BE PAID AT THE UNIT PRICES PROVIDED IN THE CONTRACTORS BID.
 - A PORTION OF THE EXISTING FIRE HALL WILL BE REMOVED BEFORE CONSTRUCTION BEGINS. SEE SHEET #7 FOR DETAILS. WORK WILL BE PAID FOR AT UNIT PRICE BID FOR "REMOVE EXISTING FIRE HALL BAY".
 - THE NEW WATER SERVICE TO THE FIRE HALL REQUIRES A 4" LIVE TAP AT STANTON AVENUE, A 4" GATE VALVE AND BOX AND 4" CL52 D.I. INTO THE NEW FIRE HALL. SEE PLUMBING SHEET FOR DETAIL. CONTRACTOR WILL ALSO BE REQUIRED TO INSTALL A NEW 1" WATER SERVICE TO THE ALLOUEZ TOWNSHIP OFFICES. PLUMBING CHANGES IN THE BASEMENT OF THE TOWNSHIP OFFICES WILL BE DONE BY OTHERS. CONTRACTOR SHALL COORDINATE THE WATER MAIN TAP AND WATER SERVICE WITH MICHIGAN AMERICAN WATER COMPANY AND ALLOUEZ TOWNSHIP.
 - THE TWO POWER POLES ON THE NORTHEAST SIDE OF SECOND STREET WILL BE RELOCATED BY UPCCO TO THE SOUTHWEST SIDE OF SECOND STREET.
 - FOUR EXCAVATED TEST HOLES WERE DUG ON 1/18/21. GENERAL DESCRIPTION OF THE TEST HOLES ARE SHOWN ON THIS SHEET. PHOTOS OF THE EXCAVATED HOLES ARE AVAILABLE FOR THE CONTRACTORS, IF REQUESTED, FROM TRAVERSE ENGINEERING SERVICES.

- TEST HOLE #1 (TH#1) ELEV. 100.0±
 0' - 18" ORGANIC LAYER, TOPSOIL
 18" - 42" LIGHT BROWN, MEDIUM SAND
 42" - 60" REDDISH, FINE SILTY SAND W/COBBLES
- TEST HOLE #2 (TH#2) ELEV. 101.1±
 0' - 20" ORGANIC LAYER, TOPSOIL
 20" - 40" LIGHT BROWN, MEDIUM SAND
 40" - 57" REDDISH, FINE SILTY SAND, MOIST
- TEST HOLE #3 (TH#3) ELEV. 100.6±
 0' - 15" ORGANIC LAYER, TOPSOIL
 15" - 24" REDDISH, BROWN, MEDIUM SAND
 24" - 40" LIGHT BROWN, MEDIUM SAND
 40" - 60" DARK BROWN, FINE SAND, MOIST
 * WATER AT 55"
- TEST HOLE #4 (TH#4) ELEV. 99.7±
 0' - 13" ORGANIC LAYER, TOPSOIL
 13" - 39" LIGHT BROWN, MEDIUM SAND W/GRAVEL
 39" - 60" REDDISH, FINE SILTY SAND, MOIST



PROPOSED SEPTIC TANK DETAIL
 SCALE: N.T.S.



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- LEGEND
- EXISTING ELEVATIONS
 - PROPOSED ELEVATIONS
 - FOUND IRON OR MONUMENT
 - PROPOSED CONTOURS
 - TEST HOLE
 - TO BE REMOVED

EXISTING WELL, APPROXIMATE LOCATION. ABANDON BY OTHERS.
 EXISTING SANITARY SERVICE AND SEPTIC TANK FOR EXISTING BUILDING, APPROXIMATE LOCATION. REMOVE TOP AND FILL WITH SAND.

ESTIMATED QUANTITIES

ITEM	QUAN.	AS BUILT
4" D.I. CL52 WATER MAIN	200 LFT	
4" GATE VALVE & BOX	1 EACH	
4" LIVE TAP W.M.	1 EACH	
1" WATER SERVICE	1 LSUM	
4" SANITARY CONNECTION	1 LSUM	
4" SDR35 PVC FOOTING DRAIN	200 LFT	
HMA, REMOVAL	415 SYD	
6 INCH REINFORCED CONCRETE	945 SYD	
12" CLII SAND	315 CYD	
RIPRAP, PLAIN	36 SYD	
MULCH BLANKET	1238 SYD	
4" SALVAGED TOPSOIL, SEED & FERTILIZER	1238 SYD	
TREE REMOVAL 19" TO 36"	8 EACH	
STUMP REMOVAL 19" TO 36"	8 EACH	

© 2021 TRAVERSE ENGINEERING SERVICES, P.C.
 DRAWN: JPK
 DESIGN: JPP

MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE

ALLOUEZ TOWNSHIP
 102 SECOND STREET
 MOHAWK, MI 49950

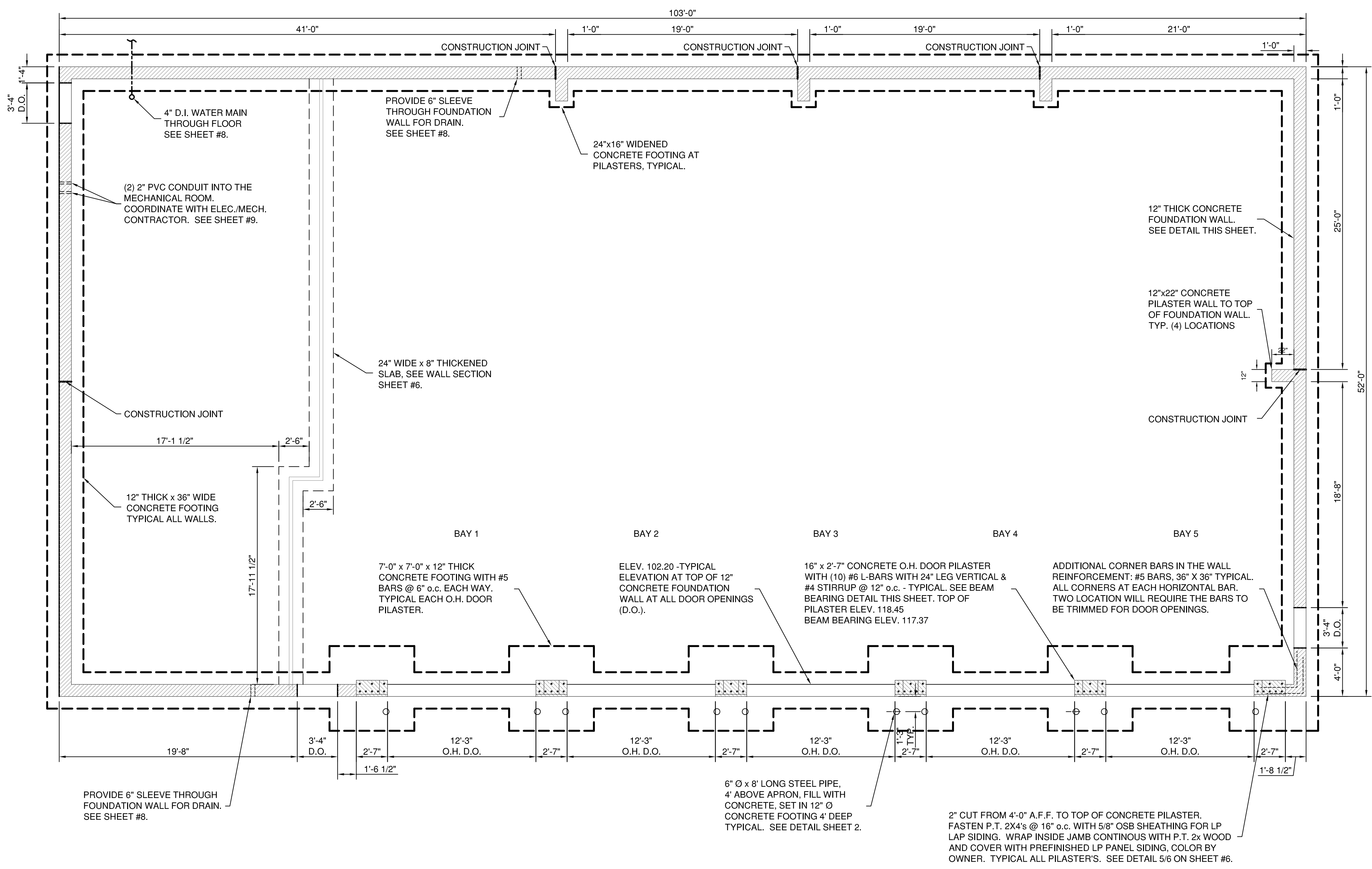
TRAVERSE ENGINEERING SERVICES, P.C.
 701 HANCOCK STREET, HANCOCK MICHIGAN
 ENGINEERS - SURVEYORS - GEOLOGISTS
 (906) 482-6696 E-MAIL: traverseengineering@gmail.com

ALLOUEZ TOWNSHIP
 NEW FIRE HALL

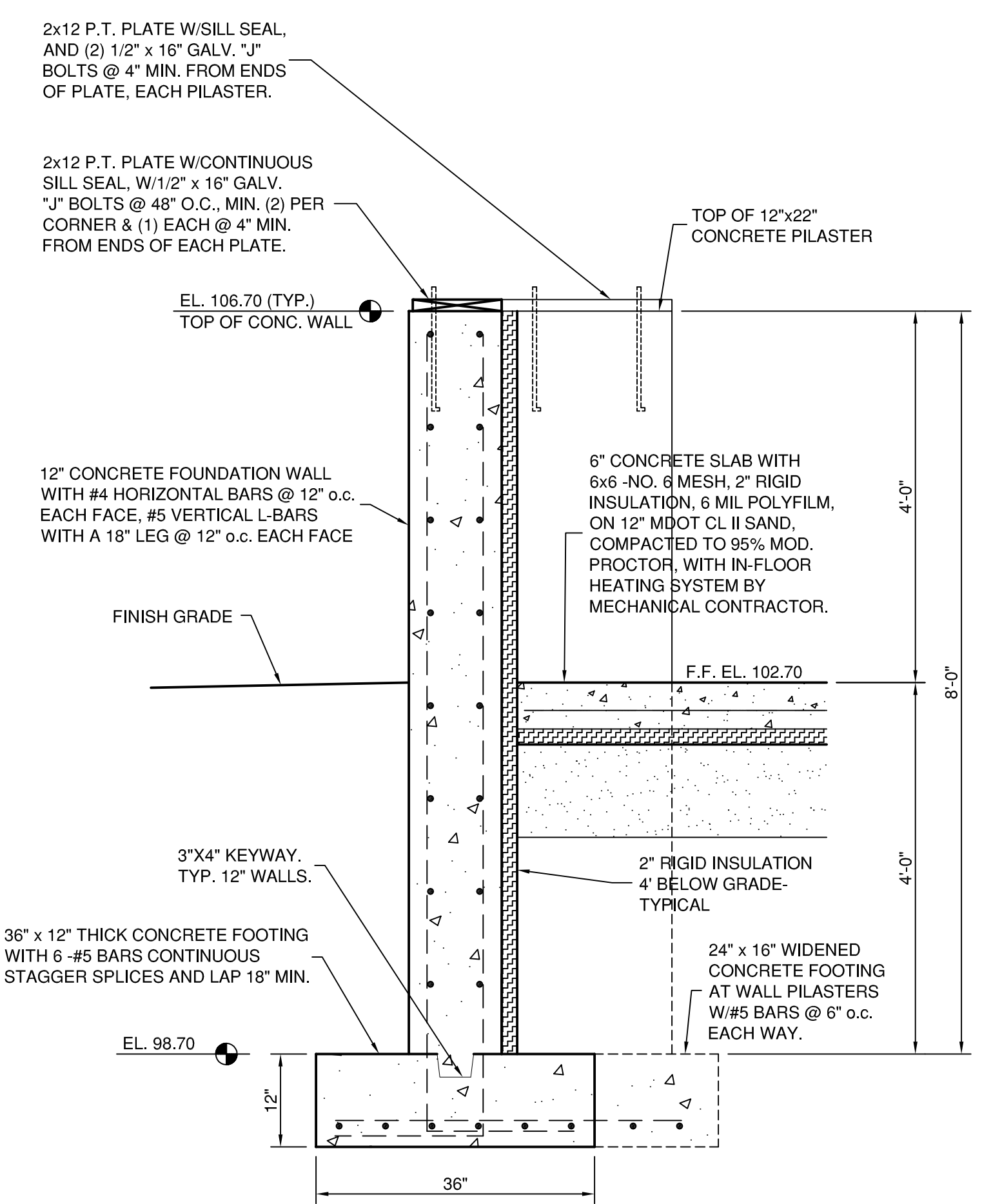
SITE PLAN

VERT. SCALE: 1" = 20' (24"x36")
 HORIZ. SCALE: 1" = 20' (24"x36")

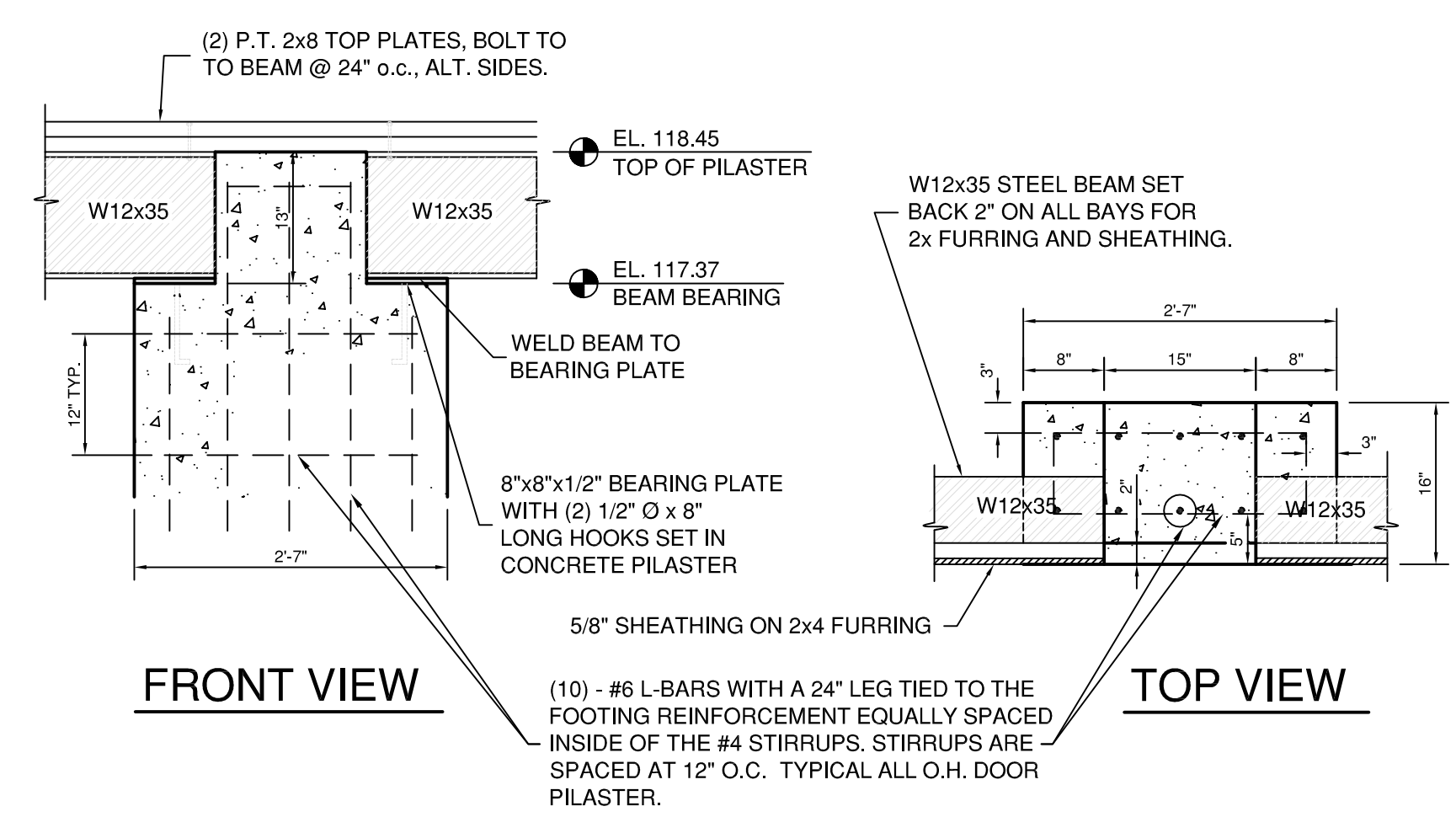
JOB NO. 567-00
 3-1-21
 SHEET NO. 2 OF 11



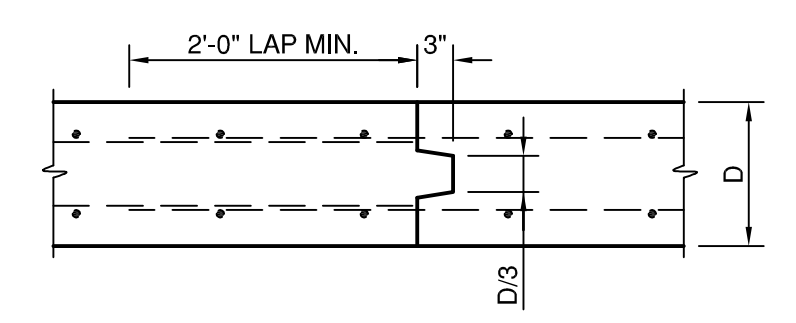
FOUNDATION PLAN
SCALE: 3/16"=1'-0"



TYPICAL FOUNDATION WALL SECTION
SCALE: 3/4"=1'-0"



BEAM BEARING DETAIL
SCALE: 3/4"=1'-0"



WALL CONSTRUCTION JOINT DETAIL
SCALE: 3/4"=1'-0"

© 2021 TRAVERSE ENGINEERING SERVICES, P.C.

DRAWN:
DESIGN:

REVISIONS	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE

ALLOUEZ TOWNSHIP
102 SECOND STREET
MOHAWK, MI 49950

TRAVERSE ENGINEERING SERVICES, P.C.
701 HANCOCK STREET, HANCOCK MICHIGAN
ENGINEERS - SURVEYORS - GEOLOGISTS
(908) 482-6696 E-MAIL: traverseengineering@gmail.com

ALLOUEZ TOWNSHIP
NEW FIRE HALL

FOUNDATION PLAN AND DETAILS

SCALE: VERT. 3/16" = 1'-0"
HORIZ.

JOB NO.	567-00
3-1-21	3
SHEET NO.	

WINDOW SCHEDULE		
NO.	WINDOW	MANUFACTURER
A	2'-0" W x 3'-0" H	ANDERSEN CASEMENT C13 SERIES 400
B	4'-0" W x 3'-0" H	ANDERSEN CASEMENT C23 SERIES 400
C	4'-0" W x 4'-0" H	ANDERSEN (TBD)

DOOR, FRAME & HARDWARE SCHEDULE										
NO.	DOOR	FRAME	LOCK	HINGE	CLOS.	W/S	THRES.	REMARKS		
100	3'-0" x 6'-8"	H.M.	L1	H1	C1	W1	T1	INSULATED R-13 MIN.		
101	3'-0" x 6'-8"	H.M.	L3	H1	C1	W1	T1	INSULATED R-13 MIN.		
102	3'-0" x 6'-8"	H.M.	L1	H1	C1	W1	T1	INSULATED R-13 MIN.		
103	3'-0" x 6'-8"	W.D.	L1	H1	-	-	-	WOOD SOLID CORE		
104	3'-0" x 6'-8"	W.D.	L1	H1	-	-	-	WOOD SOLID CORE		
105	3'-0" x 6'-8"	W.D.	L2	H1	-	-	-	WOOD SOLID CORE		
106	3'-0" x 6'-8"	H.M.	L1	H1	-	-	-	B LABEL DOOR		
200	12' X 12' OH DOOR	H.M.	MFR.	MFR.	MFR.	-	-	3 INSUL. LITES EACH DR.		
201	12' X 12' OH DOOR	H.M.	MFR.	MFR.	MFR.	-	-	3 INSUL. LITES EACH DR.		
202	12' X 12' OH DOOR	H.M.	MFR.	MFR.	MFR.	-	-	3 INSUL. LITES EACH DR.		
203	12' X 12' OH DOOR	H.M.	MFR.	MFR.	MFR.	-	-	3 INSUL. LITES EACH DR.		
204	12' X 12' OH DOOR	H.M.	MFR.	MFR.	MFR.	-	-	3 INSUL. LITES EACH DR.		

HINGES:
HEAVY DUTY COMMERCIAL TYPE, 4-1/2" x 4-1/2", S.S. FINISH, BALL BEARING, 1-1/2" PAIR PER DOOR.

LOCKS:
-SCHLAGE "ND" SERIES, ATHENS LEVERS.
-PROGRAMMABLE PUSH BUTTON LOCK IS E-PLEX 2000 SERIES WIKEY OVERRIDE
-19 SATIN NICKEL FINISH

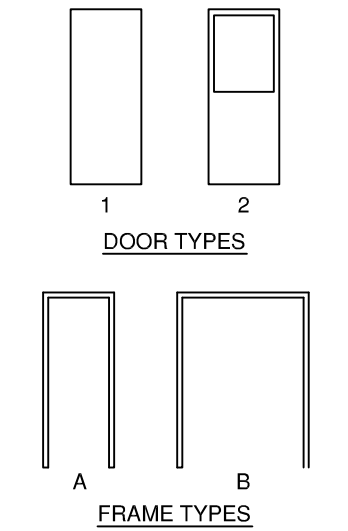
LOCK FUNCTIONS:
L1 - ENTRANCE FUNCTION
L2 - BATH/PRIVACY FUNCTION
L3 - PROGRAMMABLE PUSH BUTTON

THRESHOLD:
T1 - PEMKO 2005T
**VERIFY THE DOOR CLEARANCE MATCHES THE REQUIRED THRESHOLD CLEARANCE.

CLOSER:
C1 - LCN SERIES 4010, NO. 4011

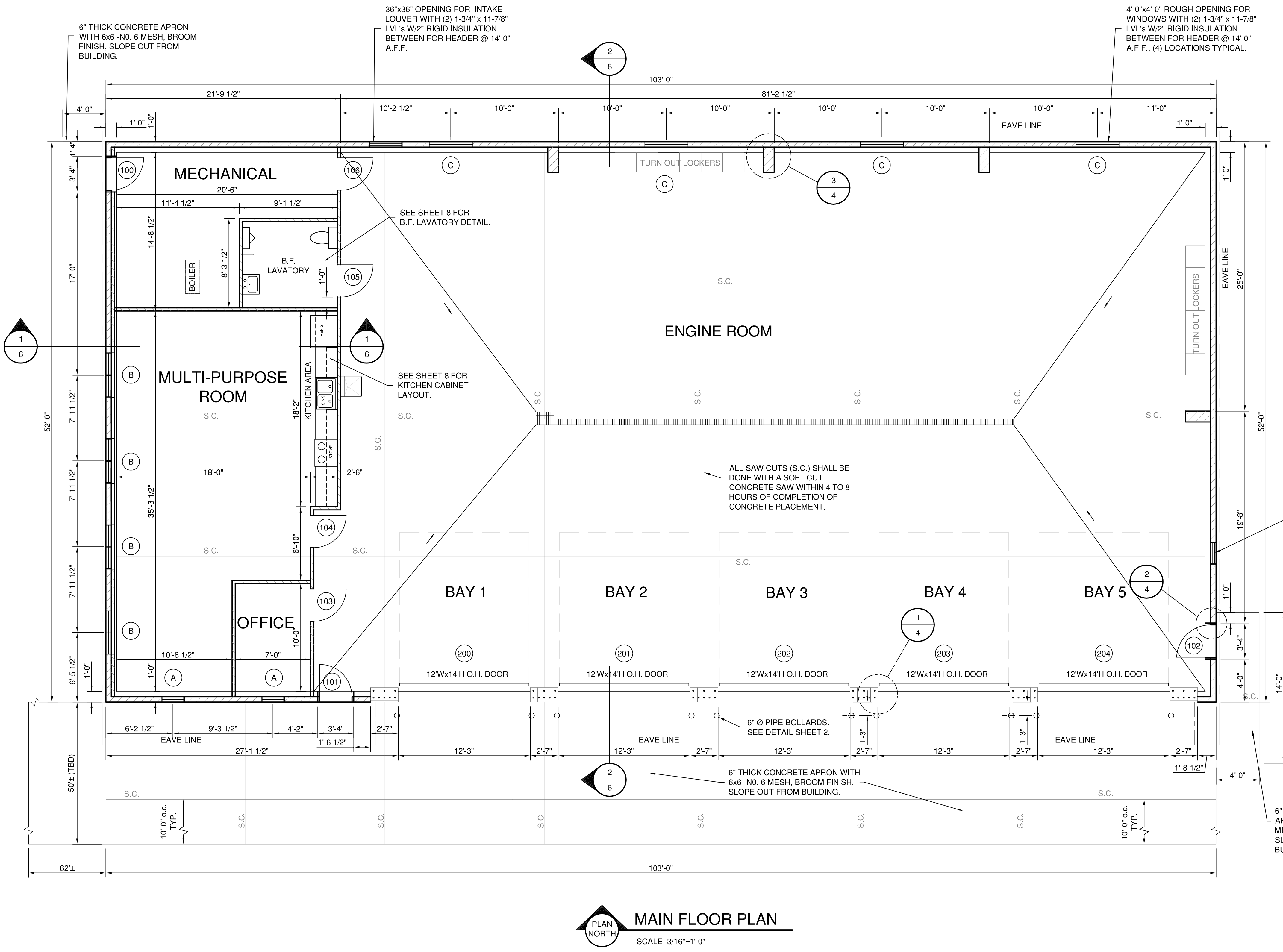
WEATHERSTRIP:
W1 - JAMB - HAGAR 8625

NOTES:
DOOR FRAMES TO BE FULLY WELDED CORNERS. DOOR LEAFS TO HAVE TOP AND BOTTOM CAP, FULLY WELDED AND SEAMLESS.
H.M. FRAMES - 14GA.
H.M. DOORS - 16GA.

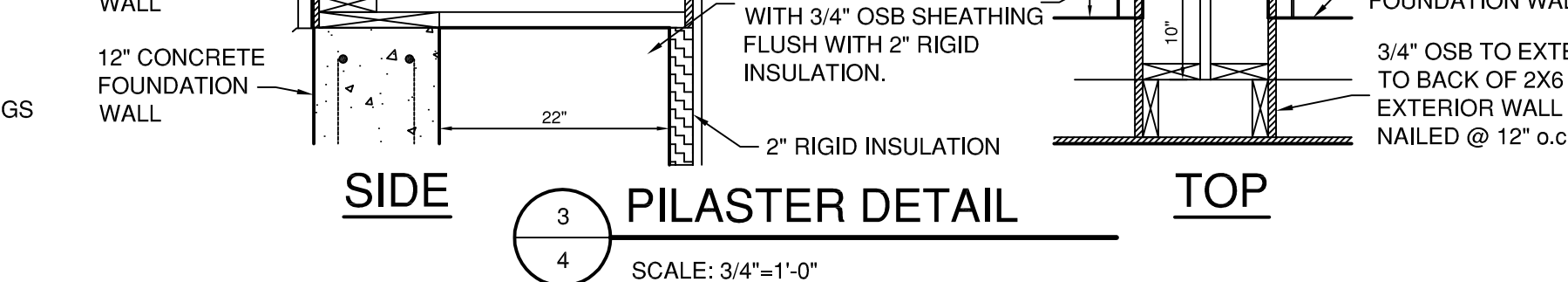
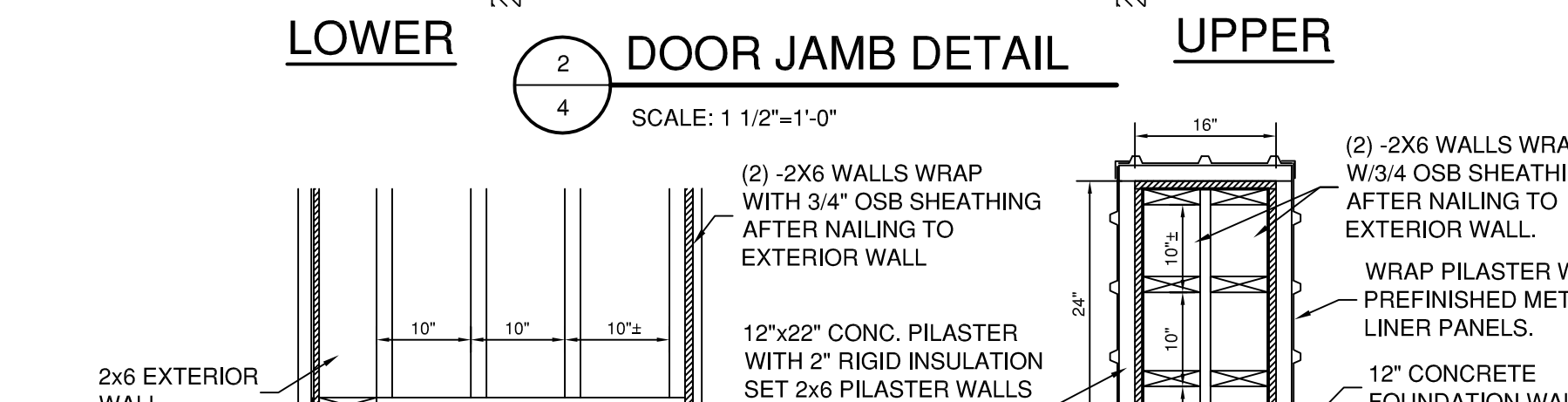
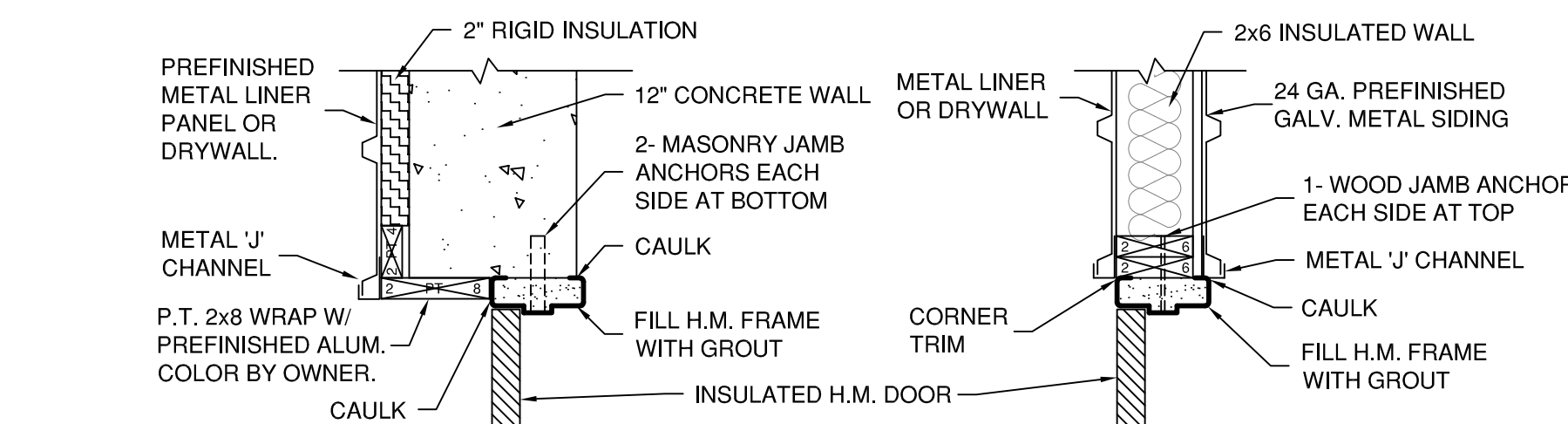
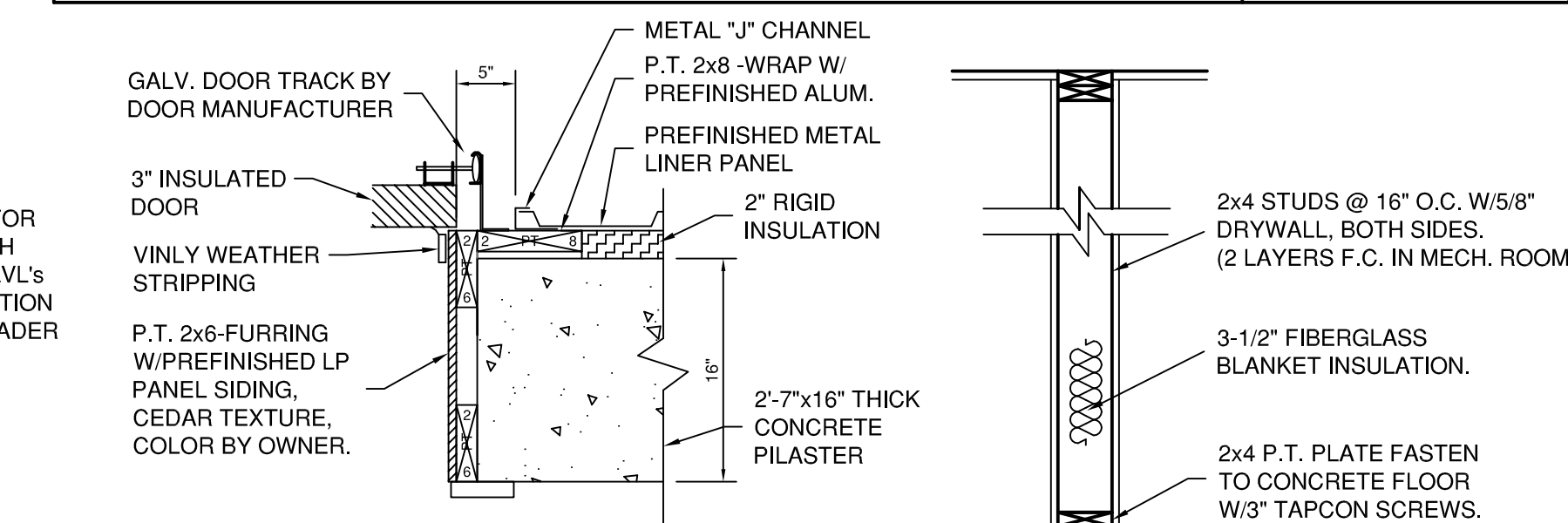


ROOM FINISH SCHEDULE													
NAME	FLOOR	BASE	WALLS	CEILING	DOORS	FRAMES	COUNTER	FINISHING NOTES					
ENGINE ROOM	CONC	VB	PML	PF	PML	PF	HM	EF	HM	EF	N/A	CONC	CONCRETE (RAW)
OFFICE	VCT	VB	DW	ESL	DW	FL	OAK	PJ	HM	EF	N/A	VCT	VINYL COMPOSITION TILE
MULTI-P. ROOM	VCT	VB	DW	ESL	DW	FL	OAK	PJ	HM	EF	FORMICA	VB	VINYL BASE
RESTROOM	VCT	VB	DW	ESL	DW	FL	OAK	PJ	HM	EF	N/A	DW	DRYWALL
MECHANICAL	CONC	VB	DW (2)	ESL	DW (2)	FL	HM	EF	HM	EF	N/A	HM	HOLLOW METAL
												PF	PREFINISHED
												ESL	EGG-SHELL LATEX
												FL	FLAT LATEX
												EF	EPOXY FINISH
												PJ	POLYURETHANE, SATIN
												PML	PREFIN. METAL LINER

(2) 2 LAYERS DRYWALL
* FOUNDATION WALL SHELF



MAIN FLOOR PLAN
SCALE: 3/16"=1'-0"



NOTES:
ALLOUEZ TOWNSHIP WILL PROVIDE EQUIPMENT AND FURNISHINGS FOR THE MULTI-PURPOSE ROOM NOT LISTED IN THE PROJECT SPECIFICATIONS. INCLUDING TABLES, CHAIRS, DRY ERASE BOARD, KITCHEN APPLIANCES AND WINDOW TREATMENTS.

REVISIONS	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE

ALLOUEZ TOWNSHIP
102 SECOND STREET
MOHAWK, MI 49950

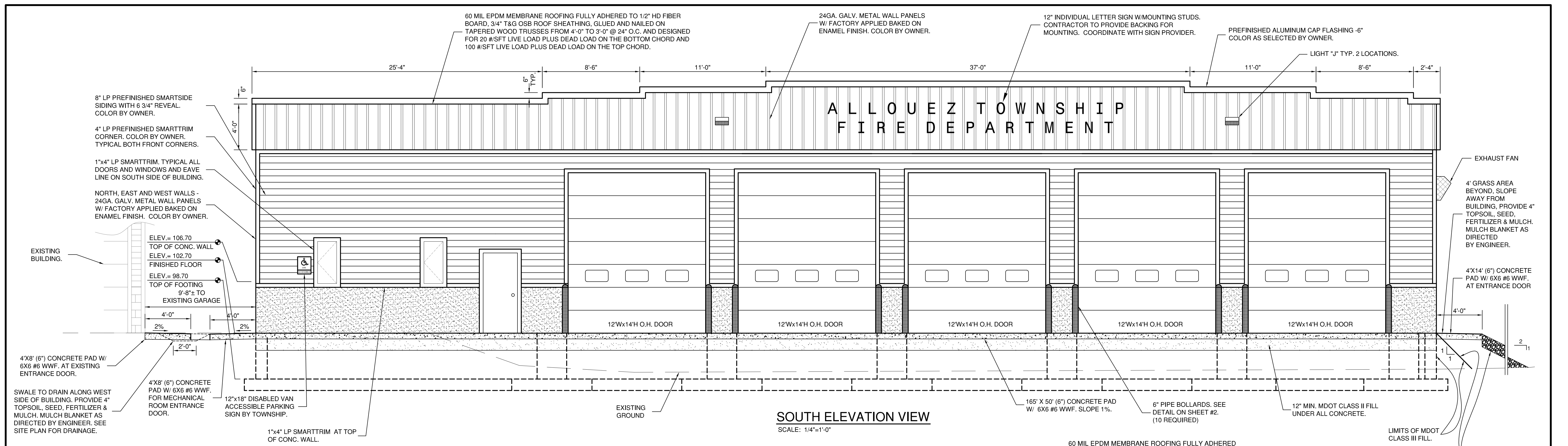
TRAVERSE ENGINEERING SERVICES, P.C.
701 HANCOCK STREET, HANCOCK MICHIGAN
ENGINEERS - SURVEYORS - GEOLOGISTS
(906) 482-6696 E-MAIL: traverseengineering@gmail.com

ALLOUEZ TOWNSHIP
NEW FIRE HALL

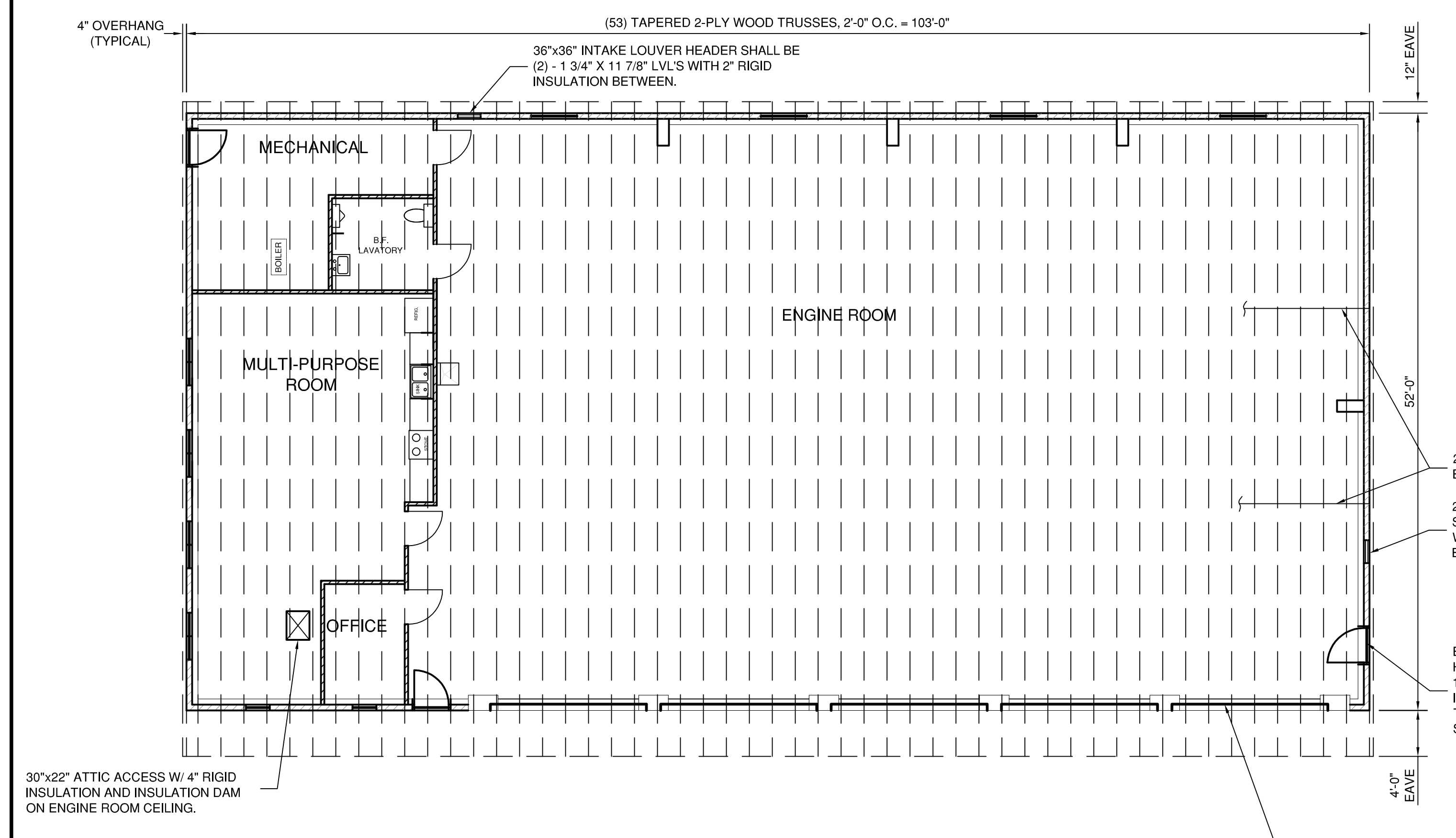
FLOOR PLAN AND DETAILS

SCALE: VERT. 3/16"=1'-0"
HORIZ. 3/16"=1'-0"

JOB NO. 567-00
3-1-21
SHEET NO. **4** OF 11

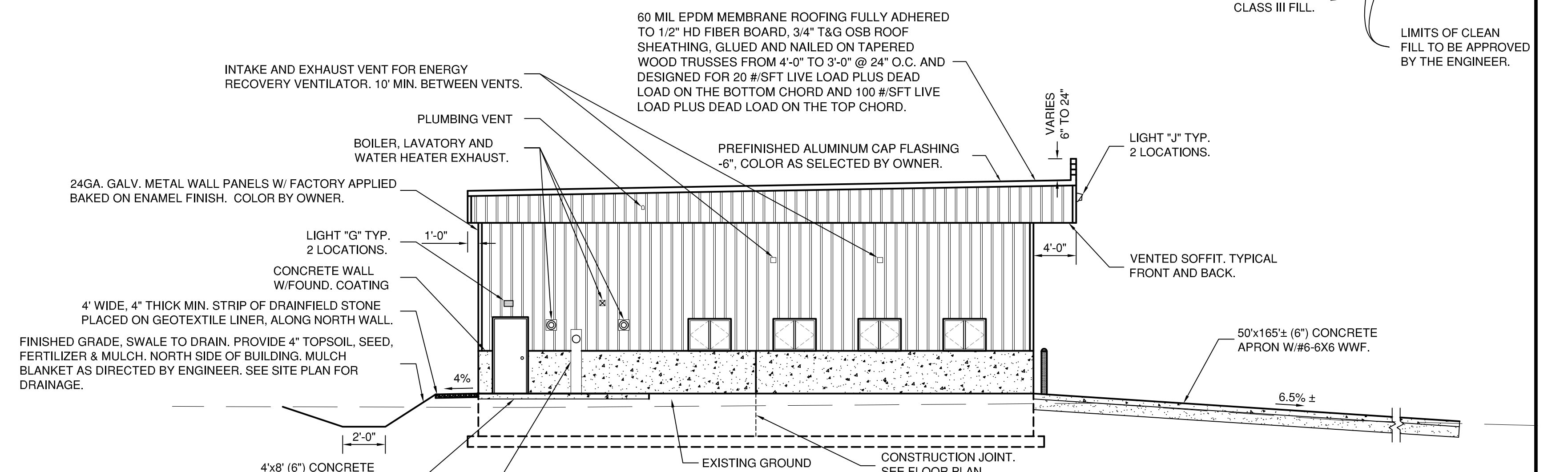


SOUTH ELEVATION VIEW
SCALE: 1/4"=1'-0"

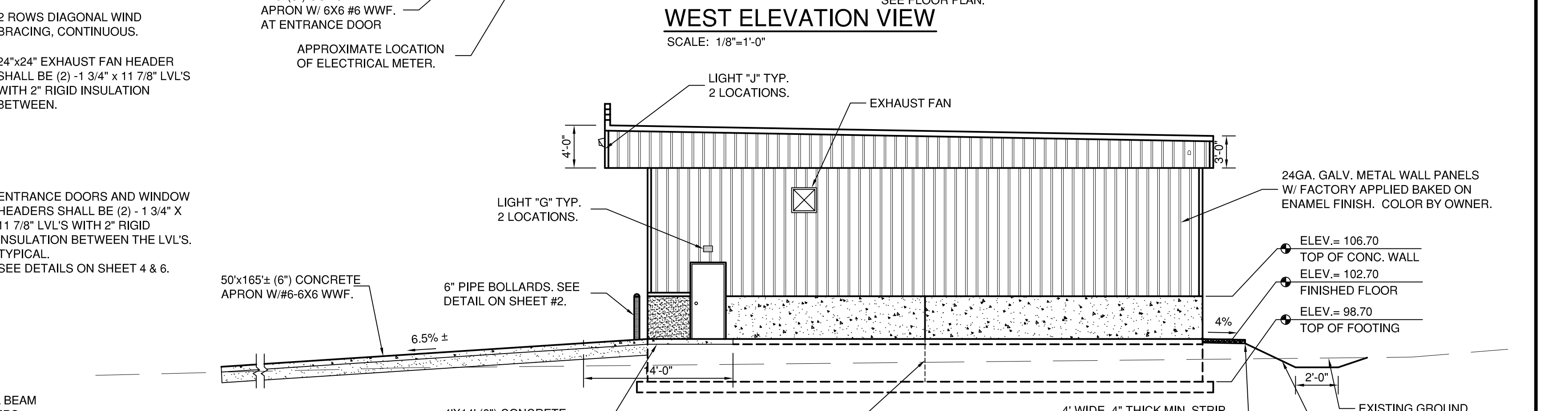


ROOF FRAMING PLAN
SCALE: 1/8"=1'-0"

NOTE:
TRUSS BRACING SHALL BE INSTALLED PER TRUSS MANUFACTURERS REQUIREMENTS.
ALL TRUSSES ARE 2-PLY TRUSSES.



WEST ELEVATION VIEW
SCALE: 1/8"=1'-0"



EAST ELEVATION VIEW
SCALE: 1/8"=1'-0"

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DRAWN:
DESIGN:

REVISIONS	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE

ALLOUEZ TOWNSHIP
102 SECOND STREET
MOHAWK, MI 49950

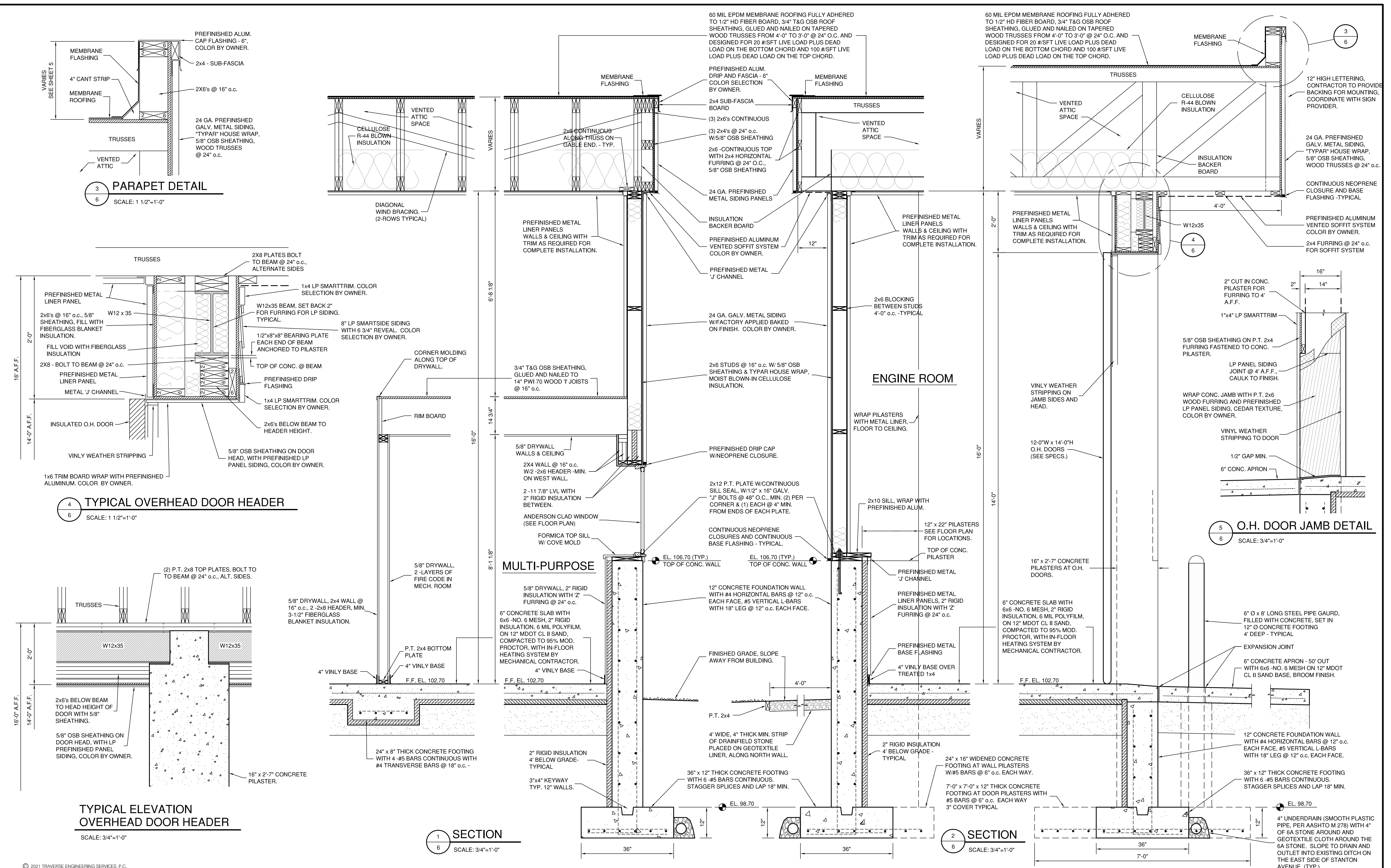
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ALLOUEZ TOWNSHIP
FIRE HALL BUILDING

EXTERIOR ELEVATIONS AND ROOF PLAN

SCALE: VERT. 1/4" = 1'-0"
HORIZ.

JOB NO.	567-00
3-1-21	5
SHEET NO.	



DRAWN:
DESIGN:

ALLOUEZ TOWNSHIP
102 SECOND STREET
MOHAWK, MI 49950

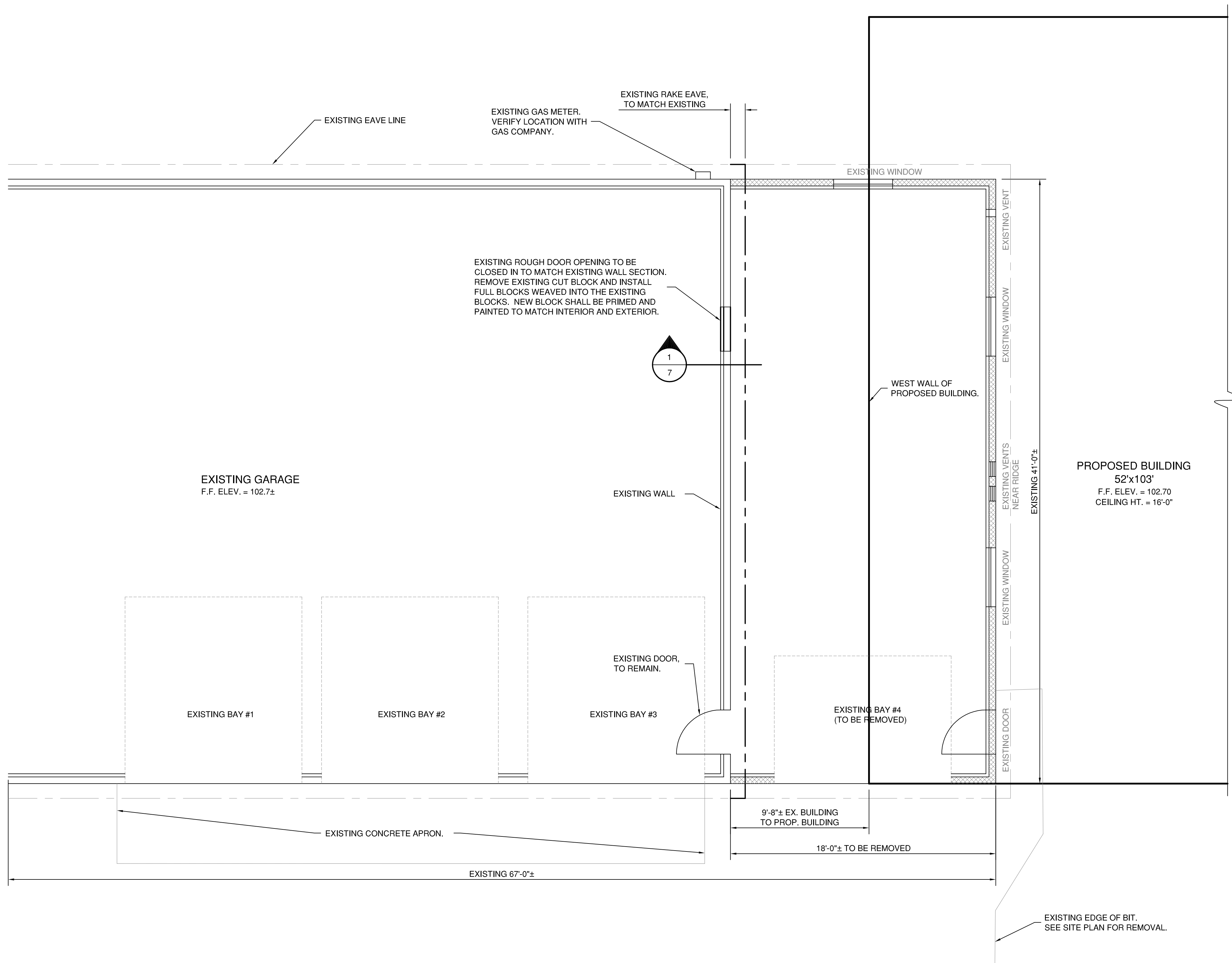
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ALLOUEZ TOWNSHIP
FIRE HALL BUILDING

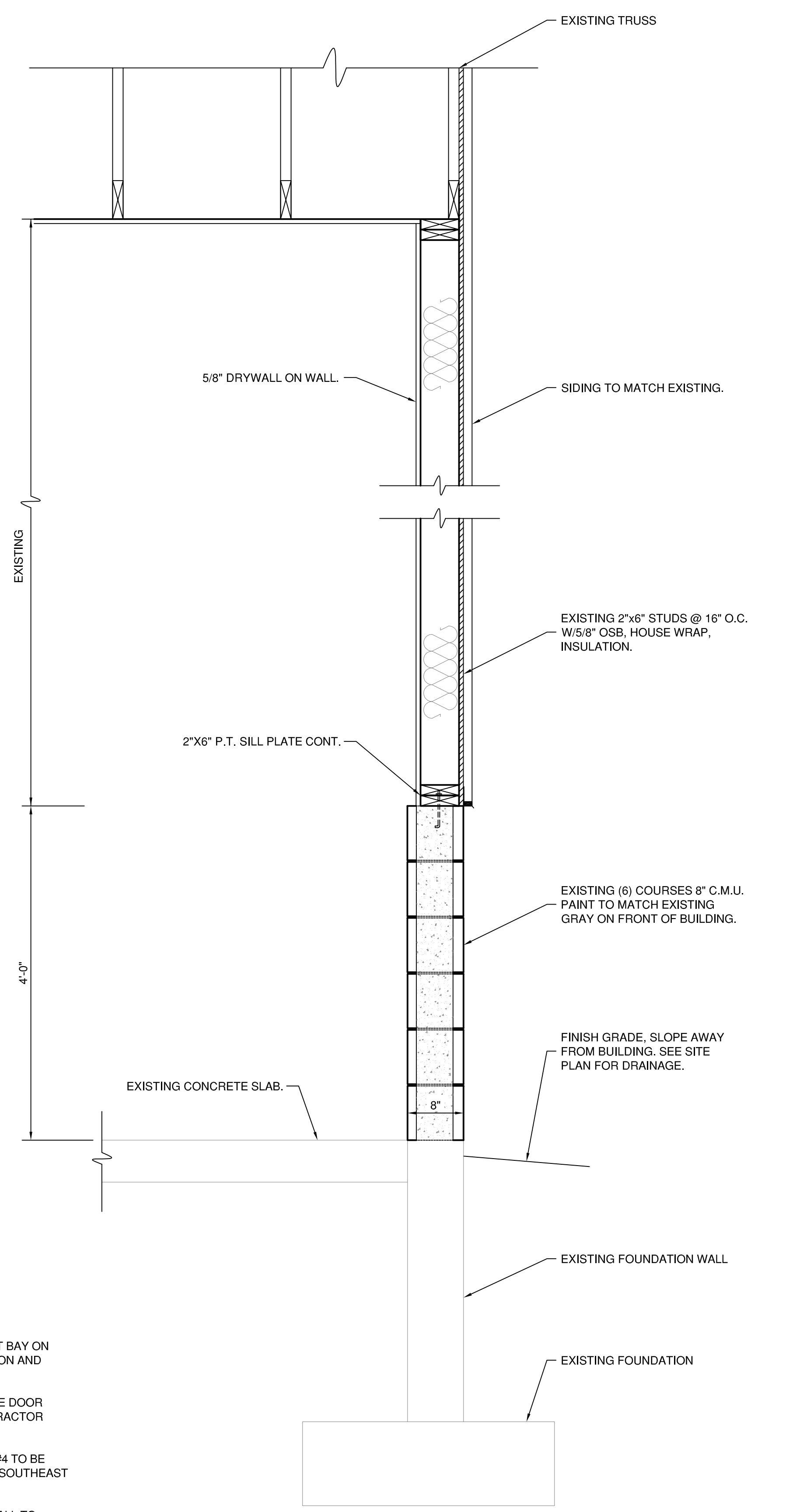
WALL SECTIONS AND DETAILS

JOB NO.	567-00
3-1-21	6
SHEET NO.	

SCALE: VERT. 3/4" = 1'-0"
HORIZ.



PLAN
NORTH
EXISTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1
7
EXISTING WALL SECTION
 SCALE: 1" = 1'-0"

- NOTES:
1. THE CONTRACTOR SHALL REMOVE THE ENTIRE EAST BAY ON THE EXISTING FIRE HALL, INCLUDING THE FOUNDATION AND FLOOR.
 2. THE EXISTING UNIT HEATER AND OVERHEAD GARAGE DOOR WILL BE REMOVED BY OTHERS PRIOR TO THE CONTRACTOR REMOVING THE BAY.
 3. VINYL SIDING ON THE FRONT OF THE EXISTING BAY #4 TO BE REMOVED. SHALL BE SALVAGED TO INSTALL AT THE SOUTHEAST CORNER OF THE EXISTING BAY #3.
 4. PAINT THE EXISTING BROWN BLOCK FOUNDATION WALL TO MATCH THE GRAY BLOCK FOUNDATION WALL ON THE FRONT OF THE BUILDING.
 5. THE EXISTING T1-11 ON THE EXTERIOR WALL OF BAY #3 SHALL BE COVERED WITH HOUSE WRAP AND INSTALL VINYL SIDING TO MATCH THE EXISTING.

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 102 SECOND STREET
 MOHAWK, MI 49950

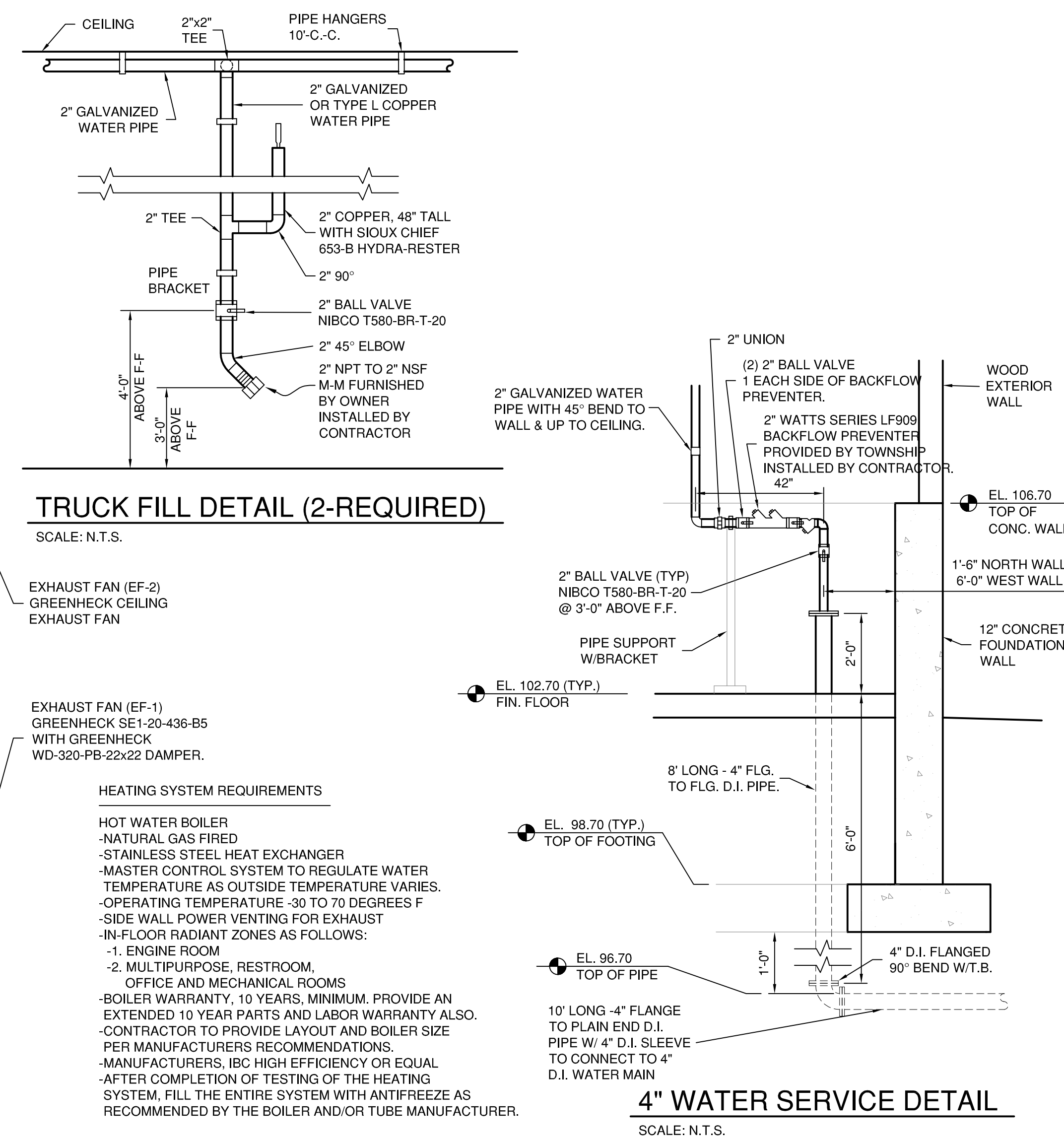
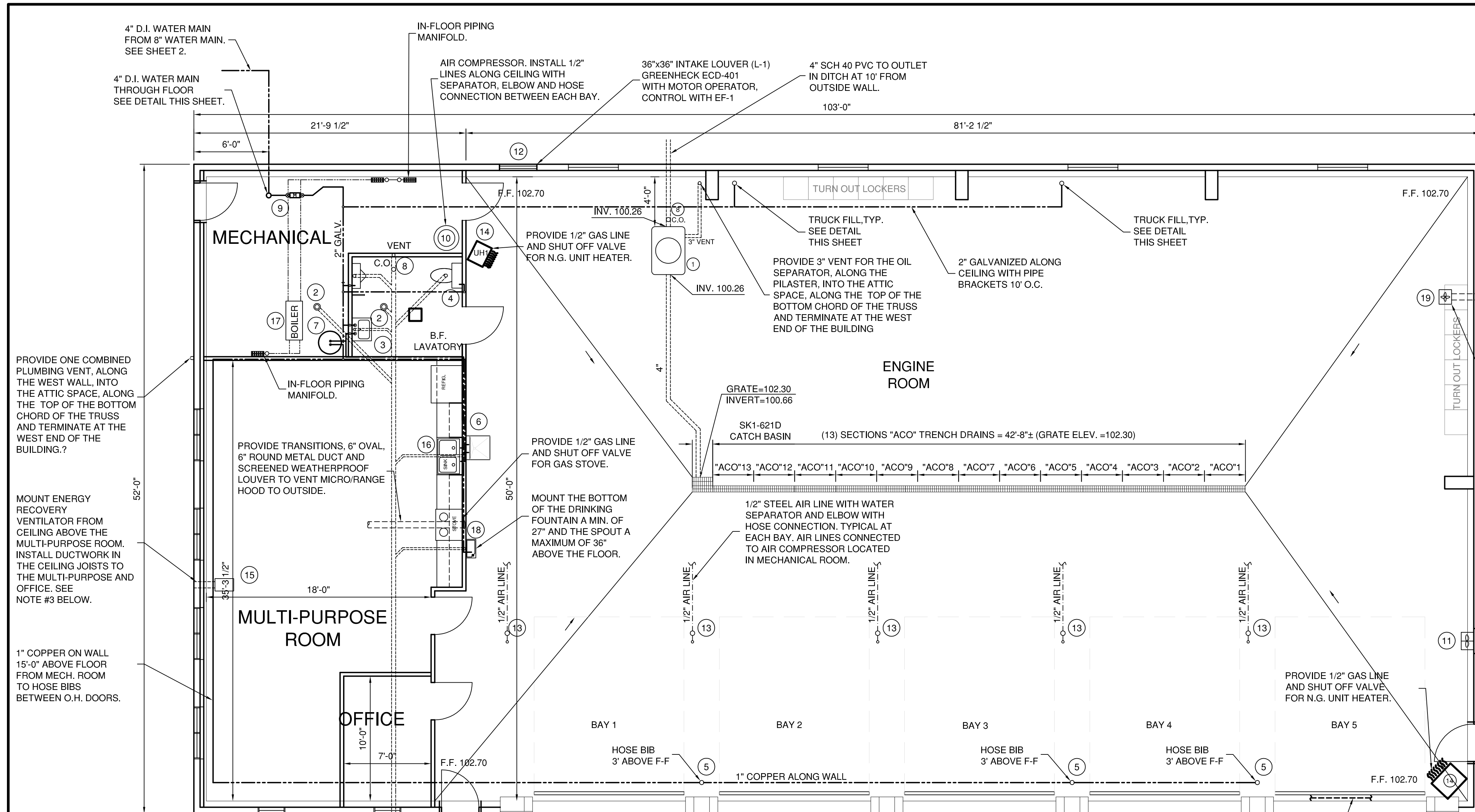
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**ALLOUEZ TOWNSHIP
 FIRE HALL BUILDING**

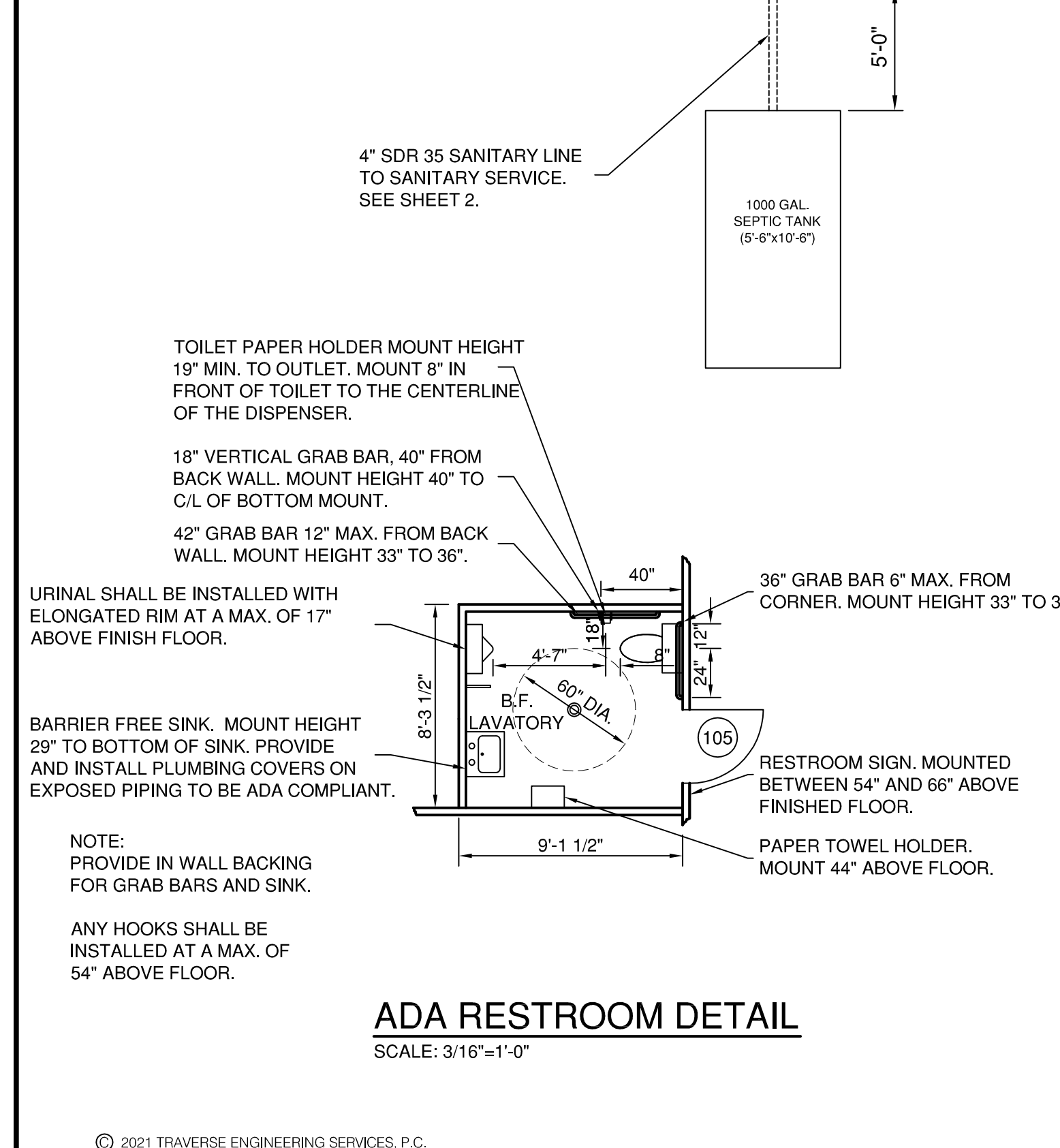
EXISTING FLOOR PLAN AND SECTION

SCALE: VERT. 1/4" = 1'-0"
 HORIZ. 1/4" = 1'-0"

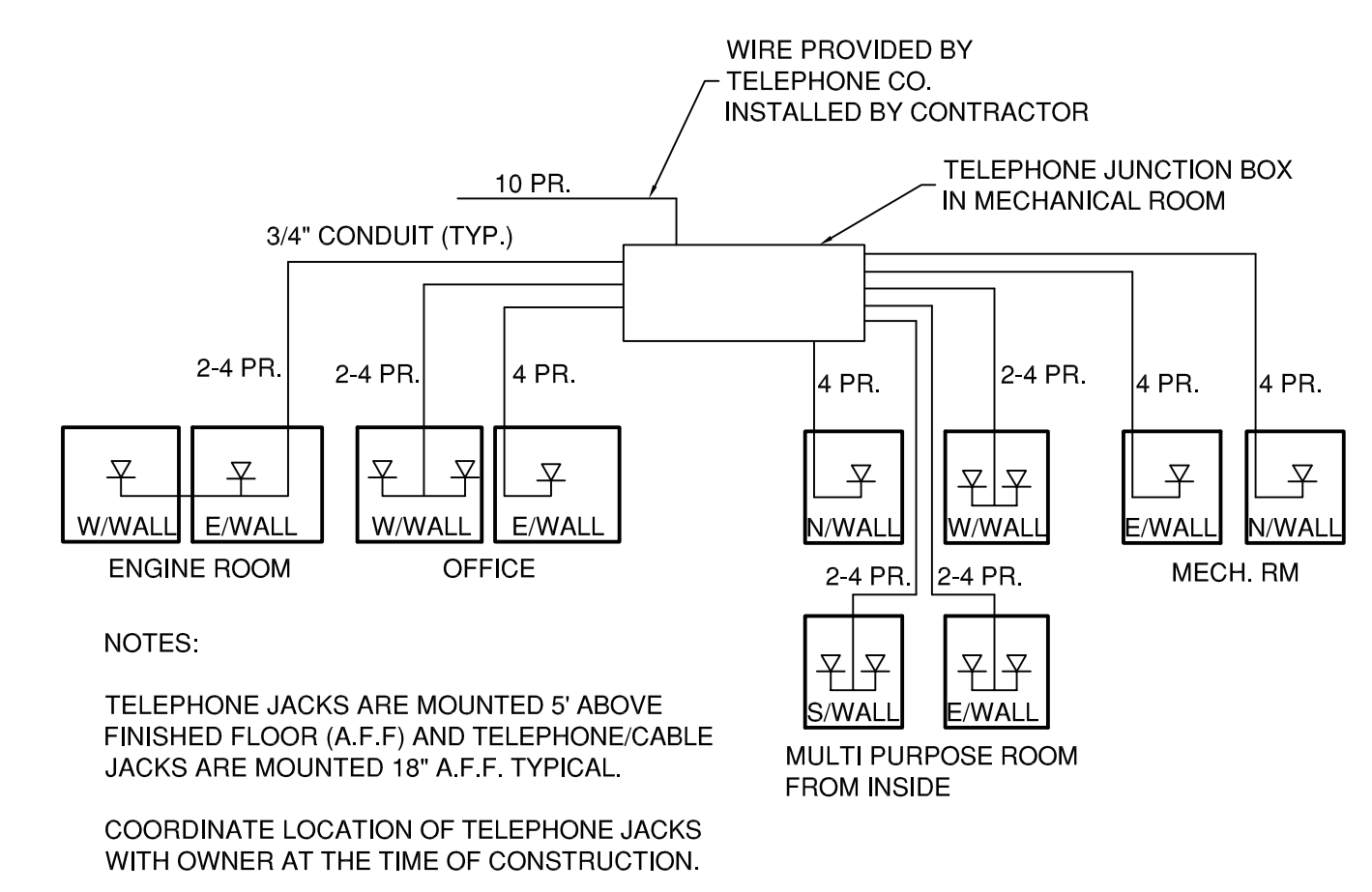
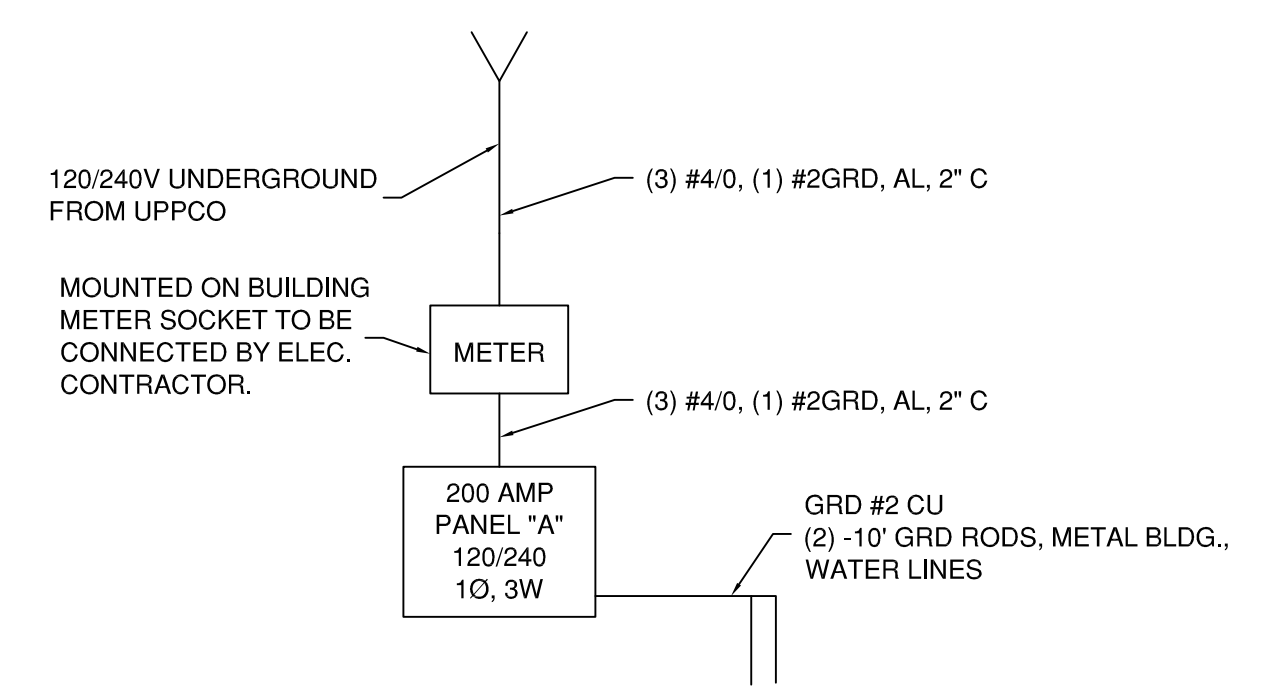
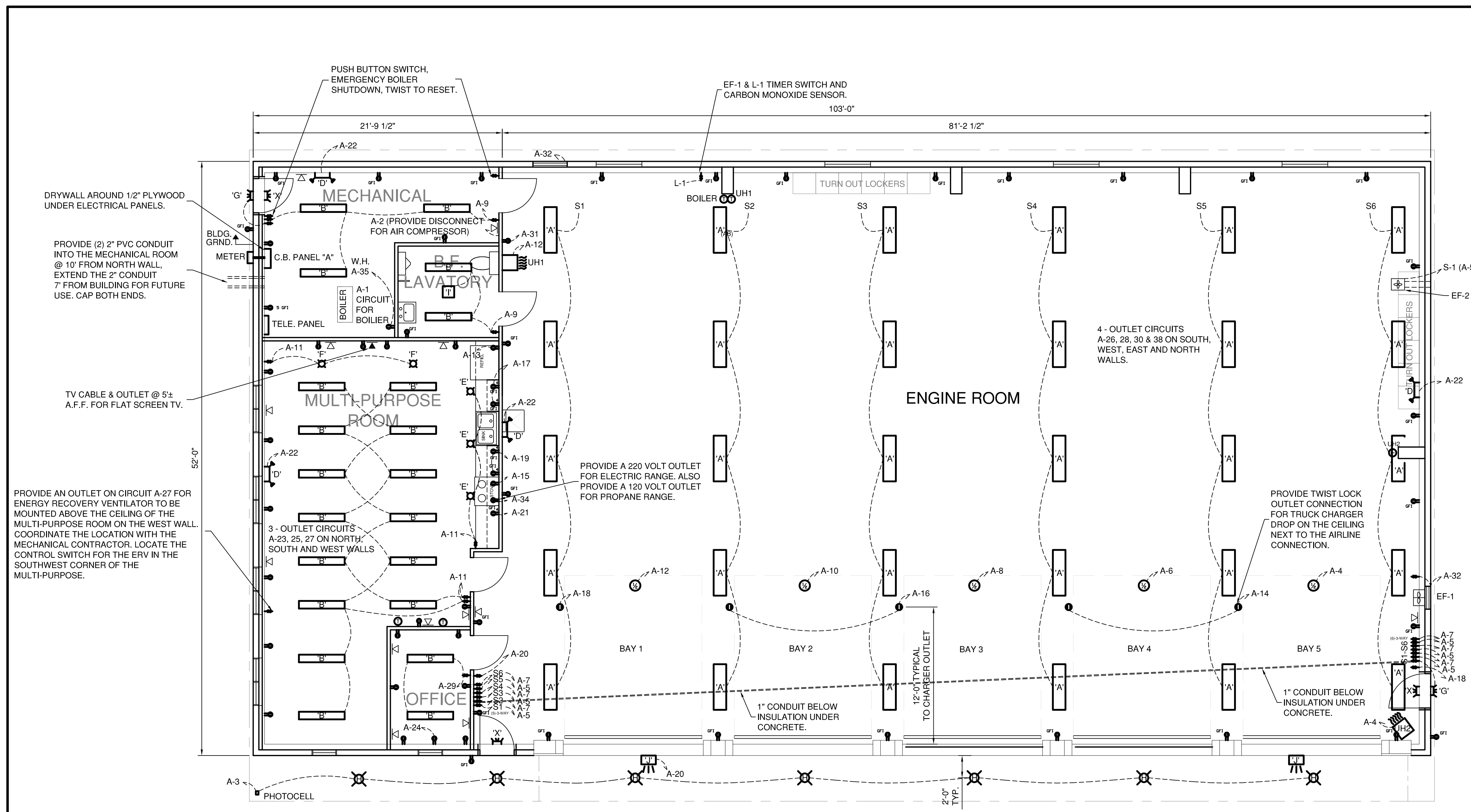
JOB NO. 567-00
 3-1-21
 SHEET NO. **7** OF 11



FIXTURE AND EQUIPMENT SCHEDULE							
NO.	DESCRIPTION	MANUF.	MODEL NO.	SIZE	CAPACITY	POWER	REMARKS
1	OIL/SAND SEPARATOR	SCHIER	OS-75	75 GPM RATED	84.4 GAL. OF OIL	-	W/SR24 TELEGLIDE RISER INSTALL PER TO MANUF. INSTRUCTIONS
2	FLOOR DRAIN	SIoux CHIEF	842-3PNR	-	-	-	
3	SINK & FAUCET	BRIGGS	MILTON 6622	-	-	-	WITH A MOEN CHATEAU 4945 FAUCET. ADA COMPLIANT OR EQUAL.
4	TOILET	BRIGGS	ALTIMA, 4234	-	-	-	ELONGATED BOWL. WHITE ADA COMPLIANT
5	HOSE BIB	WOODFORD	B67	-	-	-	
6	UTILITY SINK & FAUCET	MUSTEE	15W UTILATUB	23"x23-1/2"x14"	19 GALLON	-	WITH A MUSTEE 63-600A FAUCET
7	WATER HEATER	BRADFORD WHITE	RG2PDV40S6N	22"DIA.x80"T	40 GALLON	120 VOLTS	POWER DIRECT VENT GAS MODEL
8	CLEAN OUT	SIoux CHIEF	875-845P	-	-	-	STAINLESS STEEL COVER
9	WATER METER	-	-	-	-	-	METER & METER SETTER PROVIDED BY OWNER, INST. BY CONTR.
10	AIR COMPRESSOR	INGERSOLL RAND	CBV284621	5 H.P.	60 GALLON	-	
11	EXHAUST FAN, EF-1	GREENHECK	SE1-20-436-B5	1/2 H.P.	3780 CFM @ 0.37 SP	120V / 1Ø	W/ GREENHECK WD-320-PB-22x22 DAMPER, WEATHERHOOD, ETC.
12	INTAKE LOUVERS, L1	GREENHECK	ECD-401	36 X 36	-	120V	W/ACTUATOR MODEL #MS4120F1006 W/BIRDSGREEN, CONTROLLED BY EF-1
13	AIR FILTER	CAMPBELL HAUSFELD	PA2121	-	-	-	
14	N.G. UNIT HEATER	REZNOR	UDAS	60,000 BTU/HR	-	120V	HORIZONTAL COMBUSTION AIRVENT KIT, WITH THERMOSTAT
15	ENERGY RECOVERY VENTILATOR	RENEW AIRE	EV90	-	-	120V	VB106 WEATHERHOOD AND BD6 BACKDRAFT DAMPER.
16	KITCHEN SINK & FAUCET	MOEN	G182114	-	-	-	WITH A MOEN CHATEAU 4945 FAUCET. ADA COMPLIANT OR EQUAL.
17	BOILER	IBC	-	SEE NOTE ABOVE	-	120V	BOILER WARRANTY, 10 YR., MIN. PROVIDE EXT. 10 YR. P&L WARRANTY ALSO.
18	DRINKING FOUNTAIN	HALSEY TAYLOR	5701	-	-	-	ADA COMPLIANT OR EQUAL
19	EXHAUST FAN, EF-2	GREENHECK	SP-B200	-	200 CFM	-	W/ GREENHECK HOODED WALL CAP MODEL WC-6, CONTROLLED BY S-1 (A-5)



- NOTES:
- THE ENGINE ROOM EXHAUST FAN SHALL BE CONNECTED TO A VENTILATION CONTROL MONITOR WITH CO AND NO2 SENSORS. SEE SPECIFICATIONS.
 - THE APPLIANCES IN THE KITCHEN AREA WILL BE FURNISHED BY THE TOWNSHIP AND INSTALLED BY THE CONTRACTOR.
 - PROVIDE AIRTEC SERIES MV CEILING DIFFUSERS AND GRILLES FOR THE SUPPLY AND RETURN DUCT CONNECTIONS IN THE MULTI-PURPOSE ROOM AND OFFICE. 6" DUCT SUPPLY AND RETURN FOR THE MULTI-PURPOSE ROOM. 6" DUCT SUPPLY AND RETURN WITH 4" CONNECTIONS FOR THE OFFICE DIFFUSERS AND GRILLES. THE DUCTS CONNECTING THE UNIT TO THE OUTSIDE SHALL BE INSULATED. THE DUCTS FOR THE SUPPLY AND RETURN AIR FROM THE ROOMS SHALL BE RIGID DUCT. THE CONTROL SWITCH TO OPERATE THE ERV WILL BE LOCATED IN THE MULTI-PURPOSE ROOM.
 - VENT SANITARY PIPING AS REQUIRED PER CODE.
 - ALL PLUMBING SHALL BE DONE BY A PLUMBER LICENSED BY THE STATE OF MICHIGAN AND IN ACCORDANCE WITH THE CURRENT CODE.
 - BATH FAN TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. VENT PIPING TO BE DONE BY MECHANICAL CONTRACTOR.
 - COORDINATE LOCATION OF MECHANICAL ROOM EQUIPMENT, PIPING AND CONDUIT BEFORE POURING FLOOR.



- NOTES:**
- 'H' FIXTURES AND THE NIGHT LIGHT ARE CONTROLLED BY A PHOTO CELL. THE NIGHT LIGHT SHALL BE (1) - 32W LAMP FROM FIXTURE 'A' NEAR MAIN ENTRANCE DOOR AS SHOWN.
 - FURNISH AND INSTALL 1/2" CONDUIT FOR DOOR PHOTOCELL WIRES.
 - MOUNT RECEPTACLES IN NORTH, EAST AND WEST WALLS, IN MULTIPURPOSE ROOM 18" ABOVE FLOOR IN RECESSED BOXES.
 - ALL RECEPTACLES AND SWITCHES SHALL BE FLUSH MOUNT.
 - ALL SWITCHES SHALL BE 20A, 120/240 VOLT SPECIFICATION GRADE AND ALL OUTLETS SHALL BE 20A, 125 VOLT SPECIFICATION GRADE.
 - THE ENGINE ROOM EXHAUST FAN SHALL REQUIRE A SWITCH FOR CONTINUOUS OPERATION, PER SEC. 404 EF-1 SHALL OPERATE WHEN CO2 EXCEEDS 25 PPM OR NO2 EXCEEDS 3 PPM, AND ALSO A VARIABLE TIMER TO BE SET UP TO 1 HR. TIMER SHALL BE AN INTEMATIC MODEL FF360M OR EQUAL.
 - GROUNDING SHALL BE DONE IN ACCORDANCE WITH ARTICLE 250 OR LATEST EDITION OF THE CODE HAVING JURISDICTION OVER THE ELECTRICAL INSTALLATION. GROUND ALL PIPING, LIGHTING, EQUIPMENT, RECEPTACLES, MOTORS AND CONDUIT AS REQUIRED BY CODE.
 - ROMEX TYPE WIRE IS APPROVED FOR ALL CONCEALED WIRING. WIRING IN MECHANICAL AND ENGINE ROOM CAN BE SURFACE MOUNTED AND SHALL BE IN METAL CONDUIT.
 - PVC CONDUIT IS APPROVED FOR INSTALLATION IN OR UNDER CONCRETE SLABS.

FIXTURE SCHEDULE					
TYPE	QTY	DESCRIPTION	VOLTS	LAMPS	MANUFACTURER & CATALOG NO.
'A'	30	METALUX LHB LED LINEAR HIGH BAY LENSED	120	12,000 LUMENS 5000K	COOPER LIGHTING CTLG # LHB-12-UNV-L850-CD-U
'B'	21	METALUX LED WRAPAROUND	120	3212 LUMENS 3500K	COOPER LIGHTING CTLG# 4WSNLED-LD4-325L-F-UNV-LBXX-CDI-U
'D'	4	EMERGENCY, WALL MOUNT	120	2-.78W DC LED	SURE-LITES APEL
'E'	3	RECESSED CAN	120	1- ML56 LED	HALO / CTLG # H750ICAT ML5612935 693WB
'F'	2	RECESSED CAN W/EYEBALL TRIM	120	1- ML56 LED	HALO / CTLG # H750ICAT ML5612935 694WB
'G'	2	LED - LOW PROFILE WALL MOUNTED	120	1 - 18W LED	LUMARK (LED) XTOR2B-BK-PC1
'H'	7	RECESSED CAN W/PHOTOCELL	120	1- ML56 LED	HALO / CTLG # H750ICAT ML5612835 693WB
'I'	1	BATH FAN	120	23.3W @ 80 CFM	PANASONIC MODEL FV-08VS1
'J'	2	FLOOD LIGHT WALL PACK	120	1-75W LED	MORRIS 71426B WALL PACK
'X'	3	SURFACE MOUNTED EXIT	120	1- 3.5W	SURE-LITES CTLG # APX7R

CIRCUIT BREAKER PANEL "A" - 200 AMP, 120/240V, 1Ø, 3W,													
KVA	LOAD	TRIP	FRAME	POLE	EQUIPMENT	CKT	CKT	EQUIPMENT	POLE	FRAME	TRIP	LOAD	KVA
.8	20	QOB	1		BOILER	1	2	MECH AND BATH RECPT	1	QOB	20	1.6	
.12	20		1		EXTERIOR CANS	3	4	GAR DOOR #5, UNIT HTR2	1		20	1.3	
1.1	20		1		GARAGE LIGHTS	5	6	GAR DOOR #4	1		20	1.2	
1.1	20		1		GARAGE LIGHTS	7	8	GAR DOOR #3	1		20	1.2	
.7	20		1		BATH LTS, FAN, MECH LTS	9	10	GAR DOOR #2	1		20	1.2	
1.0	20		1		MULTI. ROOM LIGHTS	11	12	GAR DOOR#1, UNIT HTR1	1		20	1.3	
.7	20		1		REFRIG. RECPT	13	14	CHARGER #4 & #5	1		20	.6	
.8	20		1		STOVE & HOOD/MICRO	15	16	CHARGER #2 & #3	1		20	.6	
.4	20		1		KIT. COUNTER CIR. 1	17	18	CHARGER #1	1		20	.6	
.4	20		1		KIT. COUNTER CIR. 2	19	20	EXTERIOR FLOOD LIGHTS	1		20	.8	
.2	20		1		KIT. COUNTER CIR. 3	21	22	EMERGENCY LIGHTS	1		20	.02	
.54	20		1		MULTI. N/WALL RECPT.	23	24	OFFICE RECPT.	1		20	1.2	
.72	20		1		MULTI. S/WALL RECPT.	25	26	GAR EAST WALL RECPT	1		20	.9	
1.3	20		1		MULTI. W/WALL RECPT.	27	28	GAR. NORTH WALL RECPT	1		20	.9	
.3	20		1		OFFICE	29	30	GAR. WEST WALL RECPT.	1		20	.9	
3.4	50		2		220 WELDER OUTLET	31	32	EXHAUST FAN	1		20	1.2	
3.4						33	34	220 RANGE OUTLET	2		50	8.0	
1.9	20		1		WATER HEATER RECPT	35	36						
					SPARE	37	38	GAR. S/WALL RCPT-N/EXIT	1		20	.9	
					SPARE	39	40	SPARE					
					SPARE	41	42	SPARE					
17.6					NEUTRAL							22	

39.6 KVA, 180 AMP

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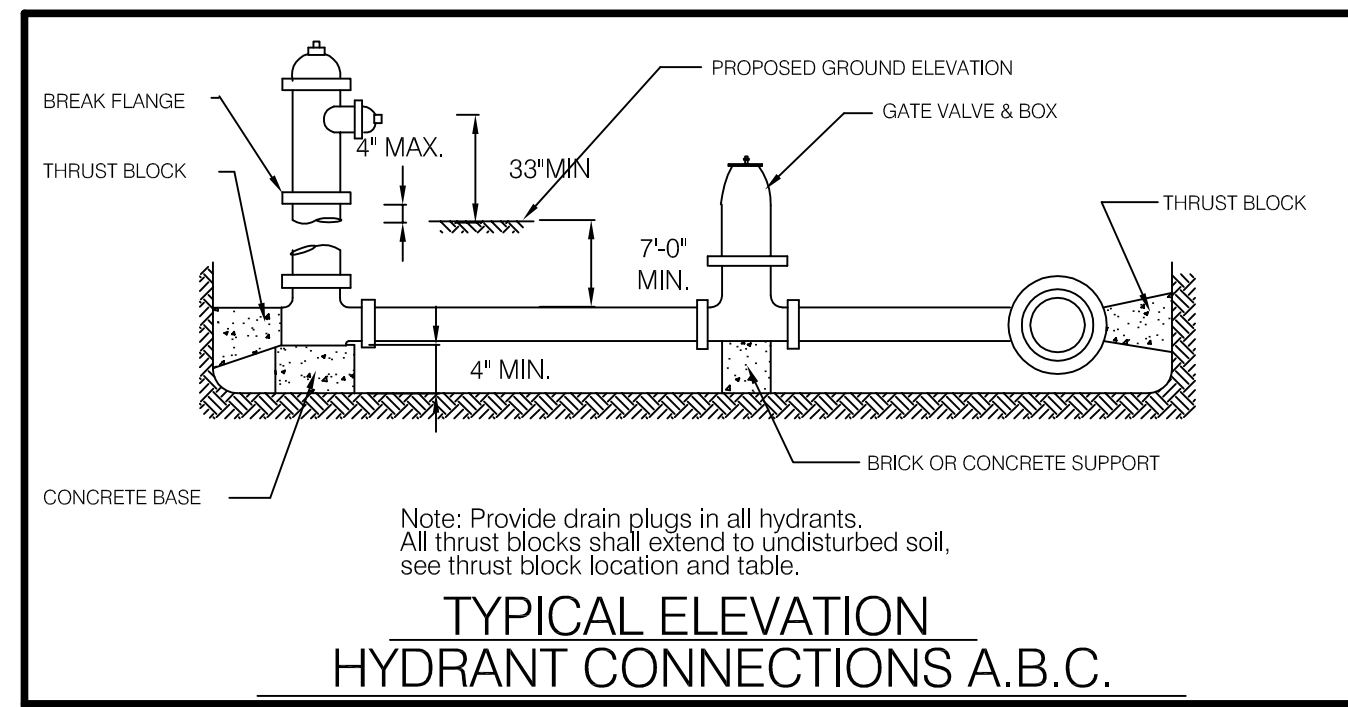
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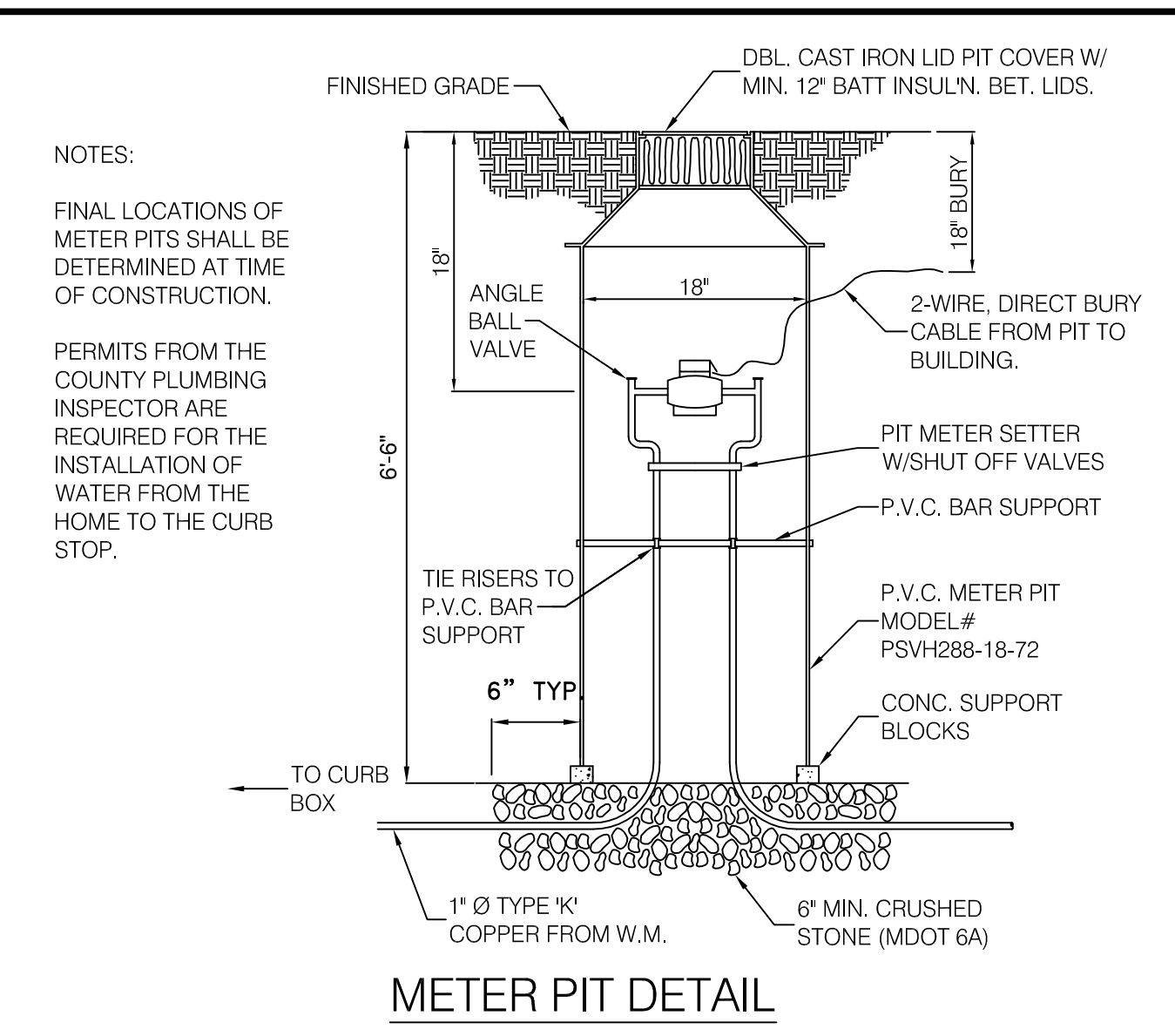
ELECTRICAL PLAN AND DETAILS

SCALE: VERT. 3/16" = 1'-0"
HORIZ.

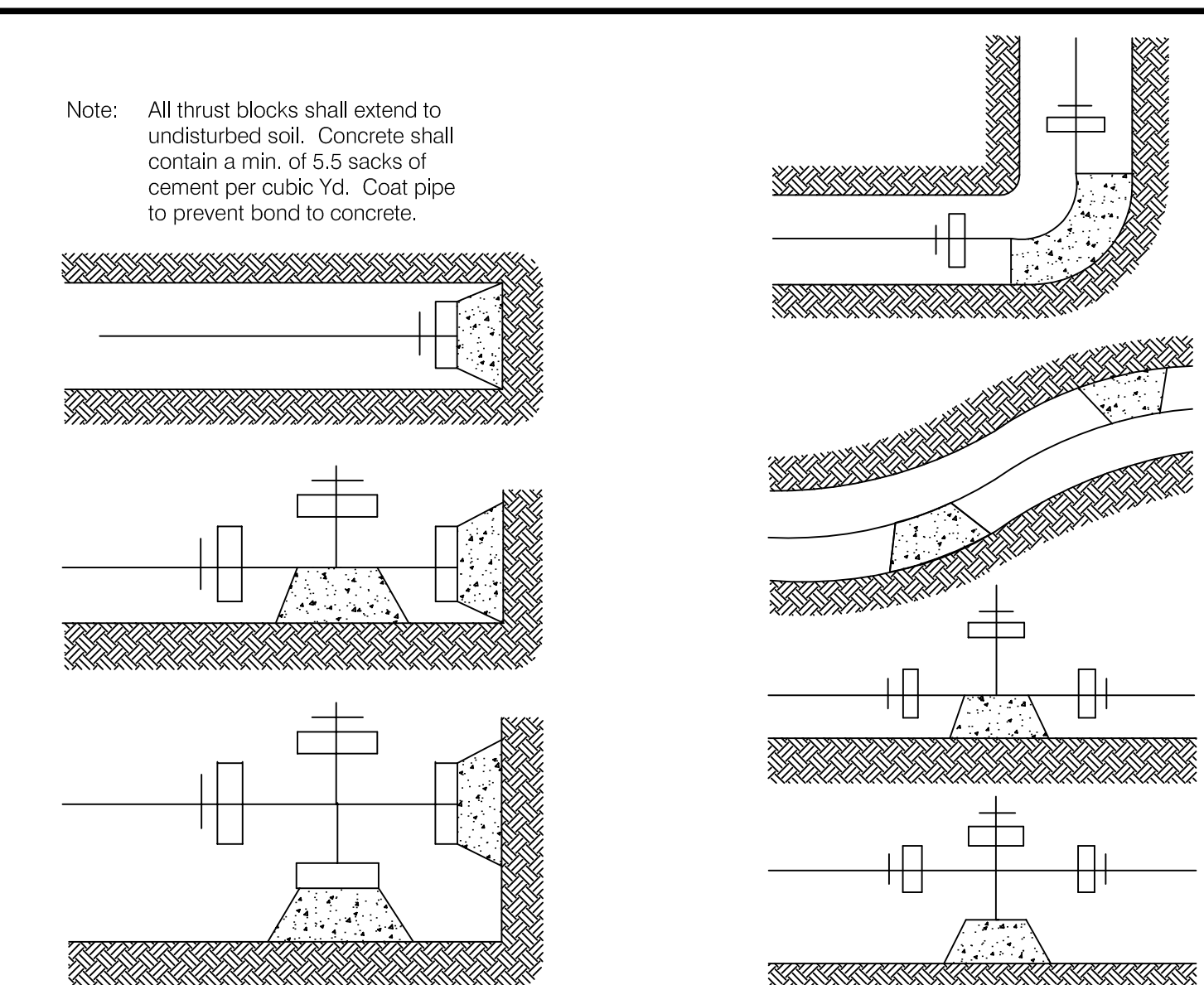
JOB NO.	567-00
3-1-21	9
SHEET NO.	



**TYPICAL ELEVATION
HYDRANT CONNECTIONS A, B, C.**



METER PIT DETAIL

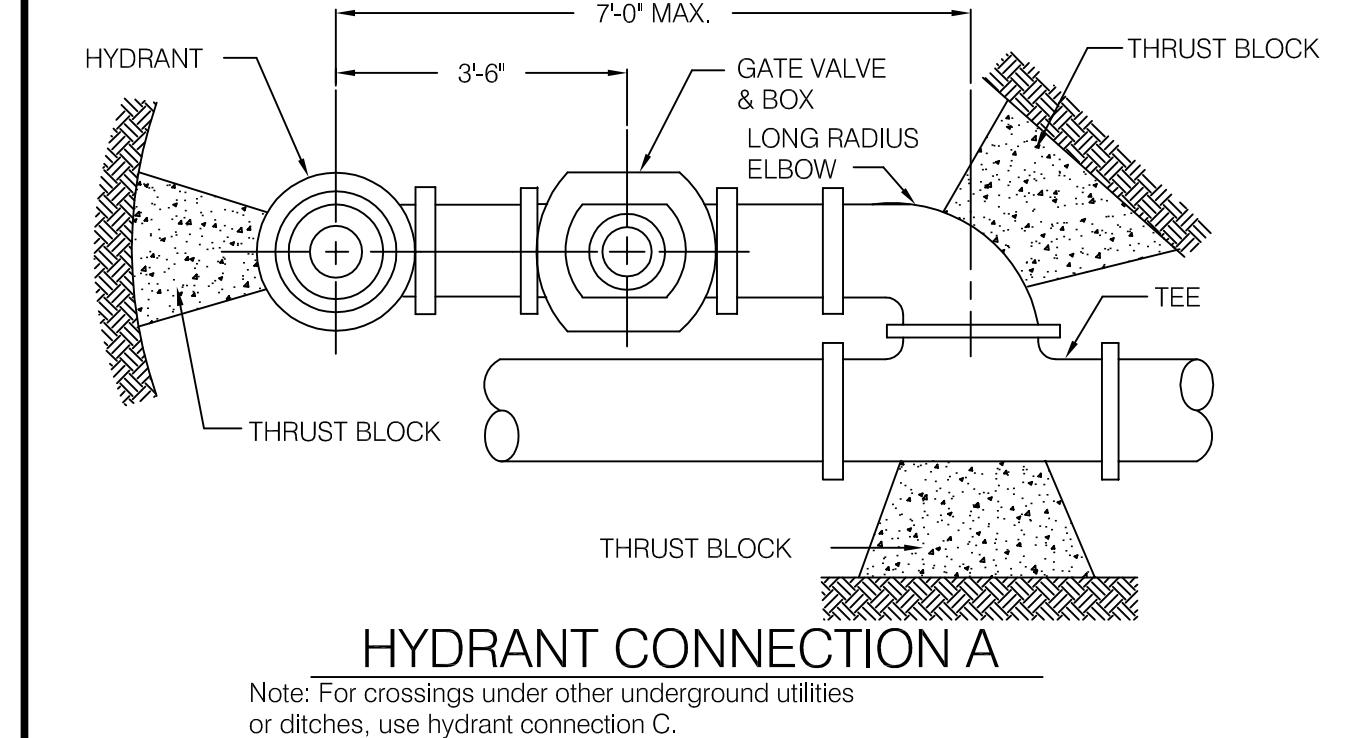


THRUST TABLE (IN 1,000'S OF LBS.)

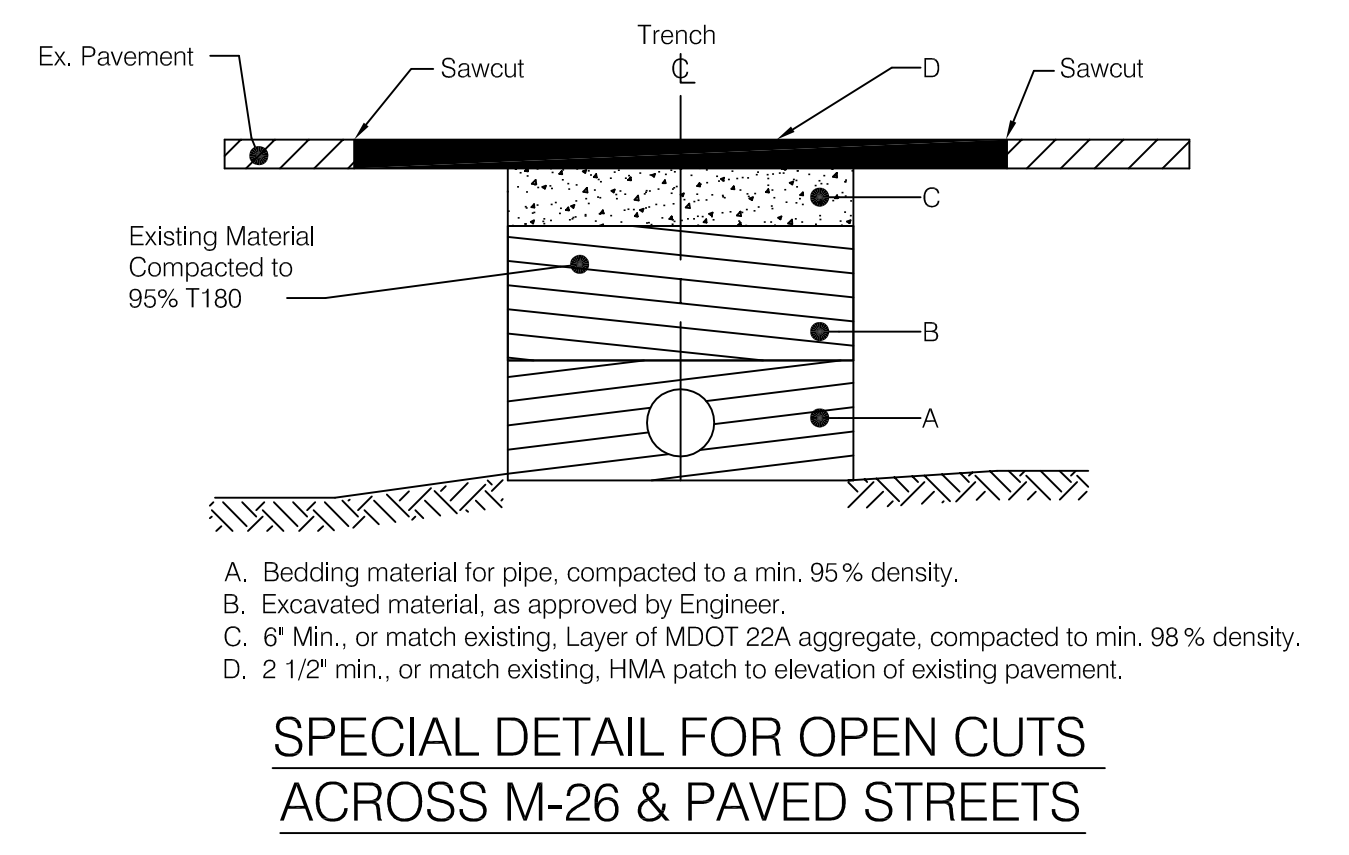
MAIN SIZE	TEES	90 DEG. BENDS	45 DEG. BENDS	22.5 DEG. BENDS
6"	4,250	6,000	3,250	1,660
8"	7,540	10,670	5,770	2,940
12"	16,970	23,990	12,980	6,620
16"	43,650	61,725	33,400	17,025
20"	63,675	90,050	48,725	24,850
24"	87,475	123,700	66,950	34,125
30"	130,250	184,200	99,700	50,825
36"	182,650	259,300	139,800	71,250

SOIL BEARING LOADS - (HORIZONTAL THRUST)

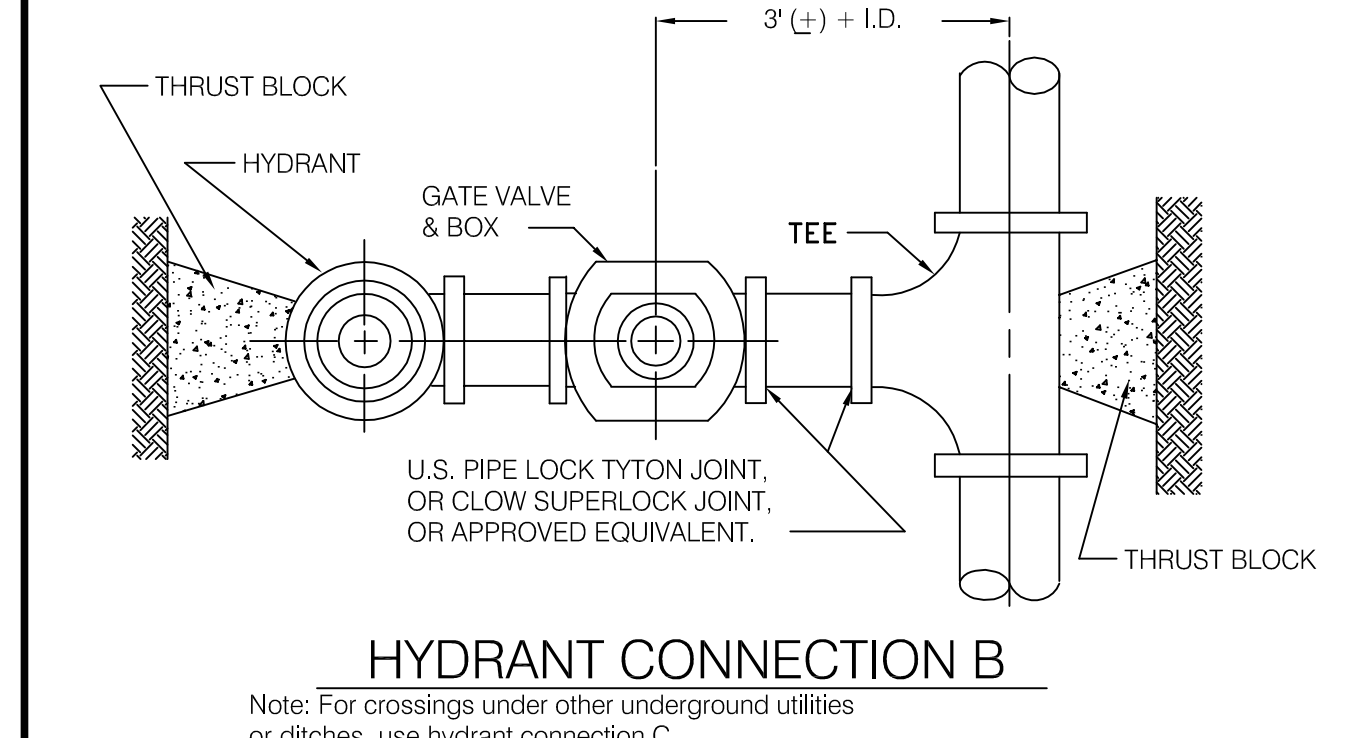
TYPE OF SOIL	SBL, LBS. PER SQ. FT.
MUCK, PEAT, ETC.	0
SOFT CLAY	1000
SAND	2000
SAND AND GRAVEL	3000
SAND AND GRAVEL CEMENTED WITH CLAY	4000
HARD COMPACTED CLAY	5000



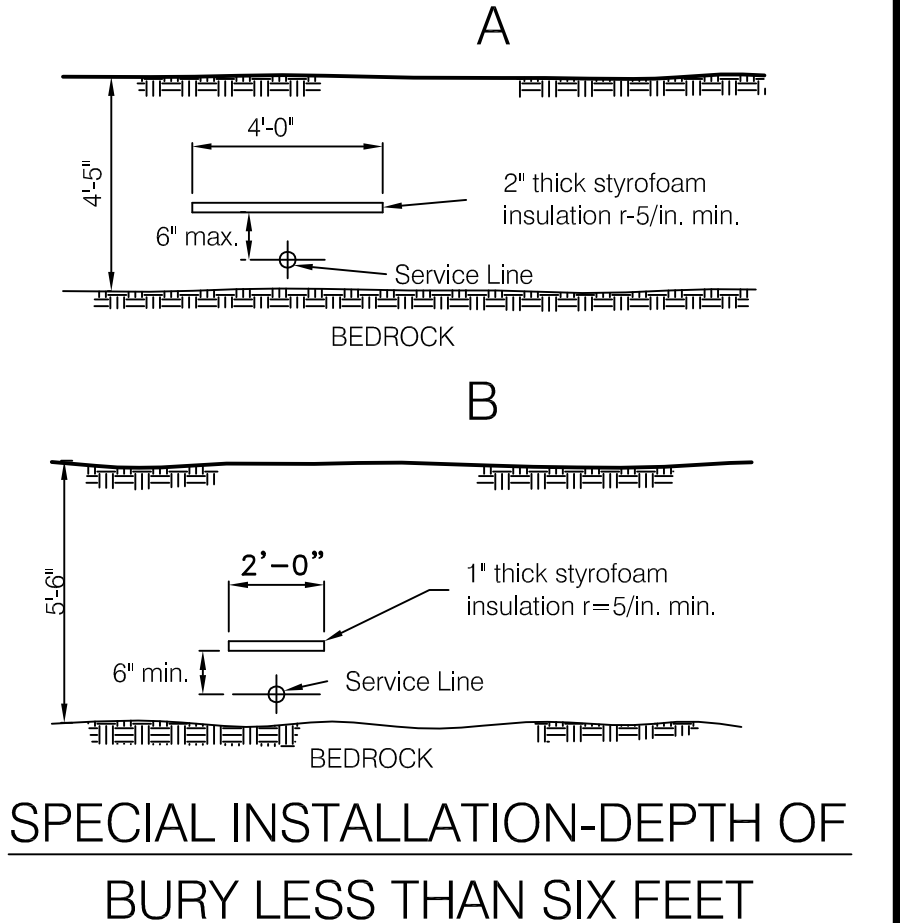
HYDRANT CONNECTION A



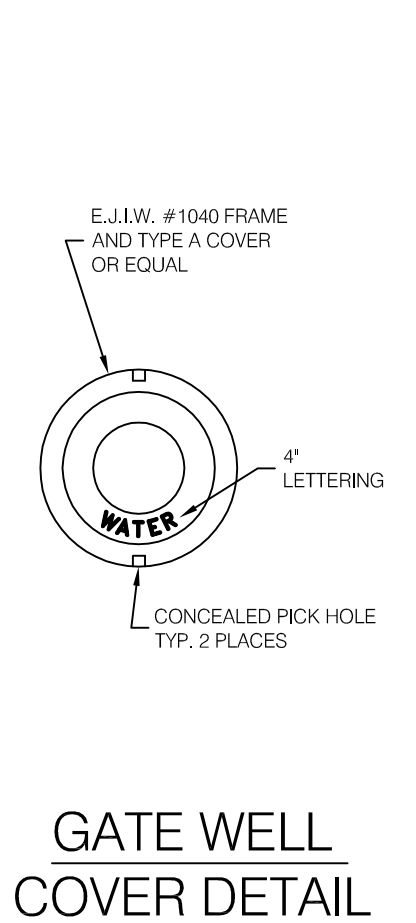
**SPECIAL DETAIL FOR OPEN CUTS
ACROSS M-26 & PAVED STREETS**



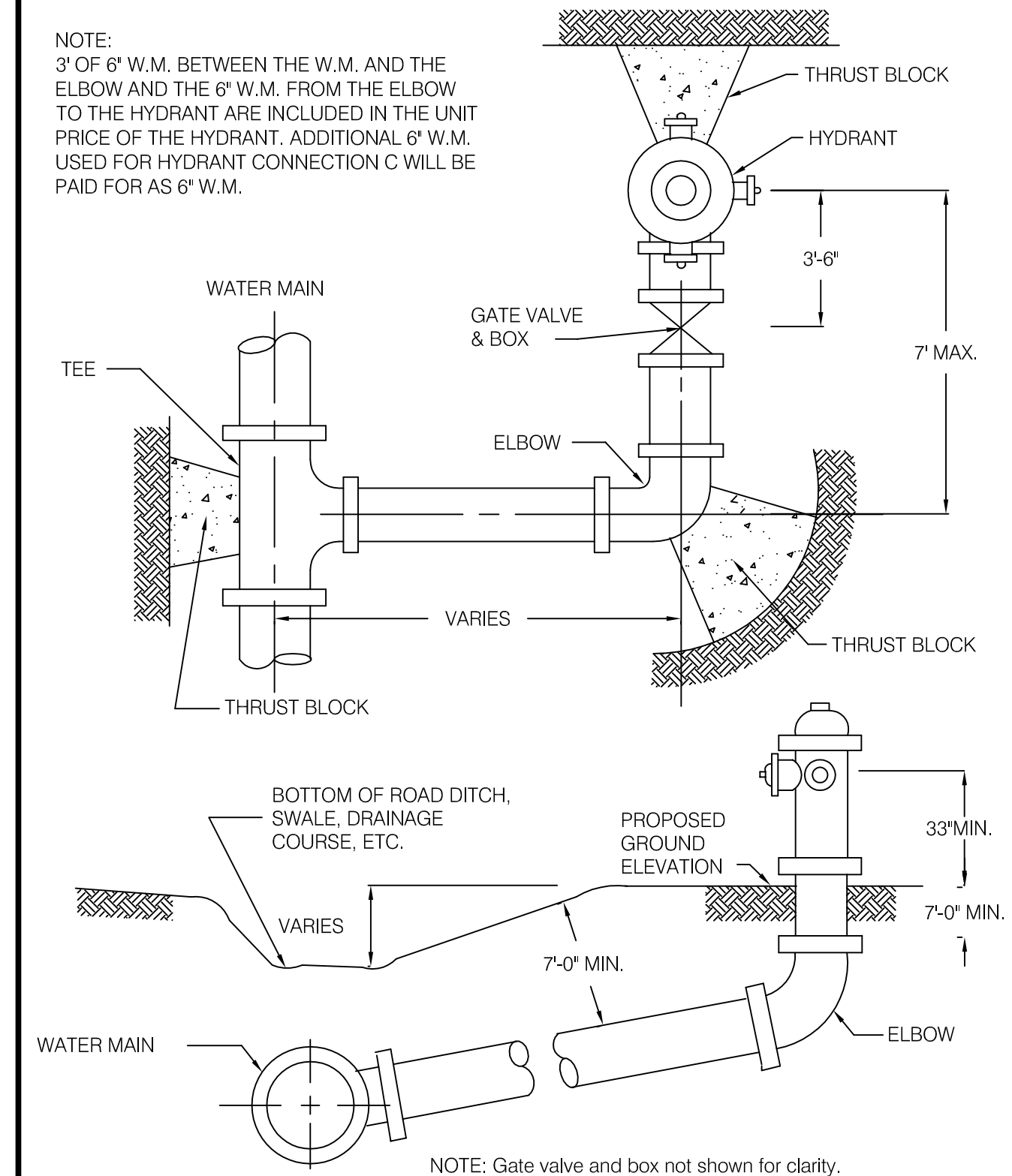
HYDRANT CONNECTION B



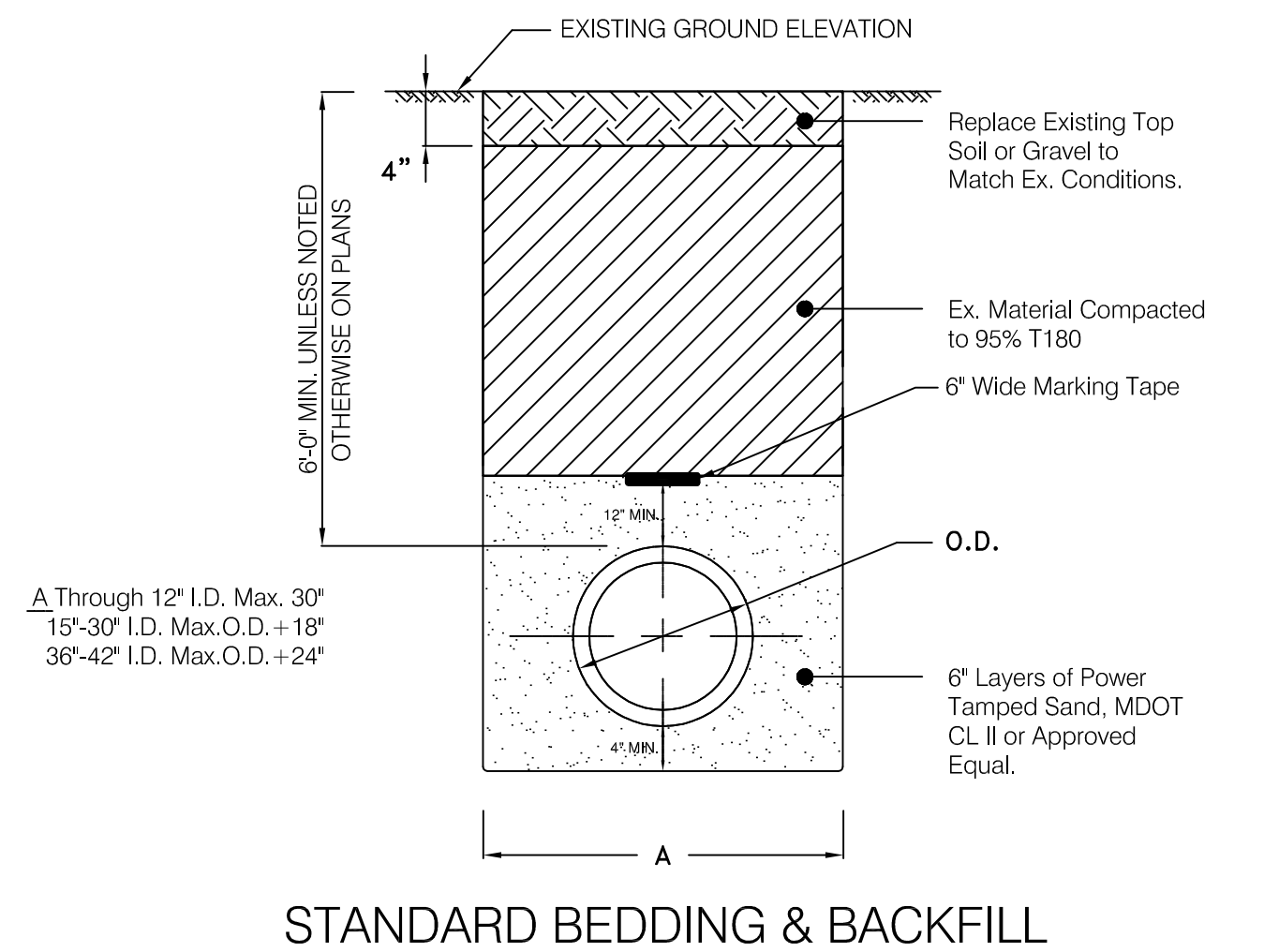
**SPECIAL INSTALLATION-DEPTH OF
BURY LESS THAN SIX FEET**



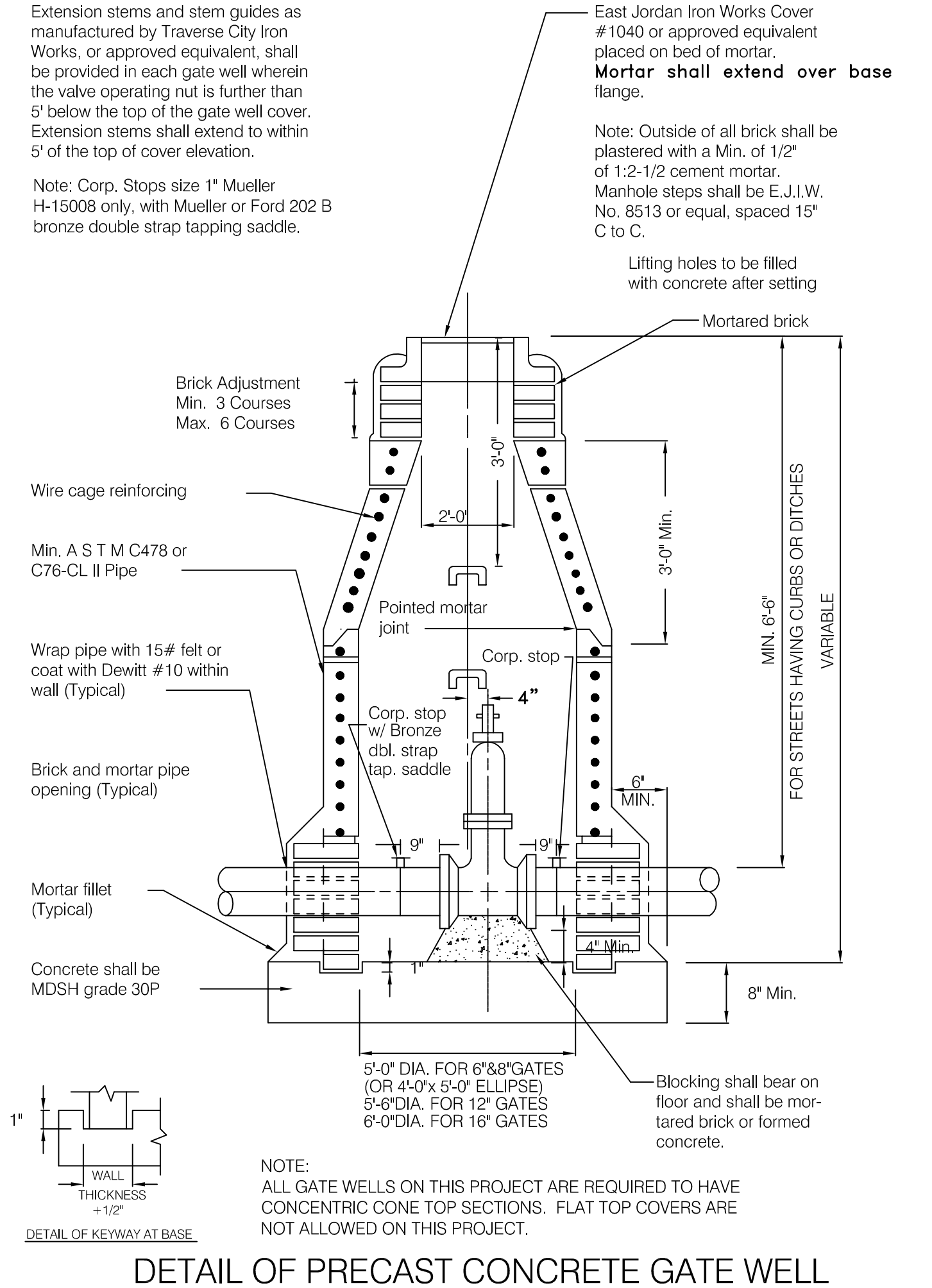
**GATE WELL
COVER DETAIL**



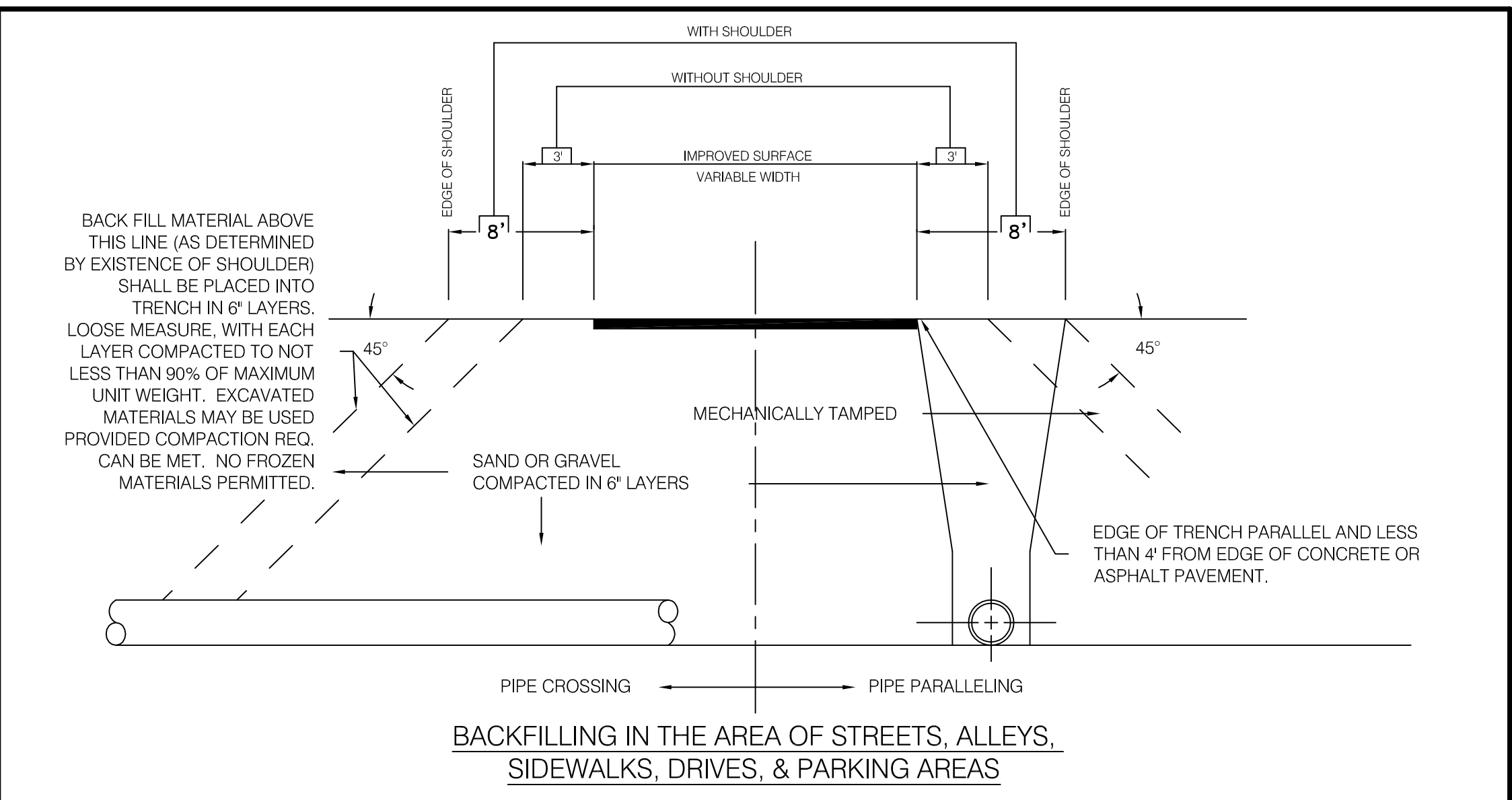
HYDRANT CONNECTION C



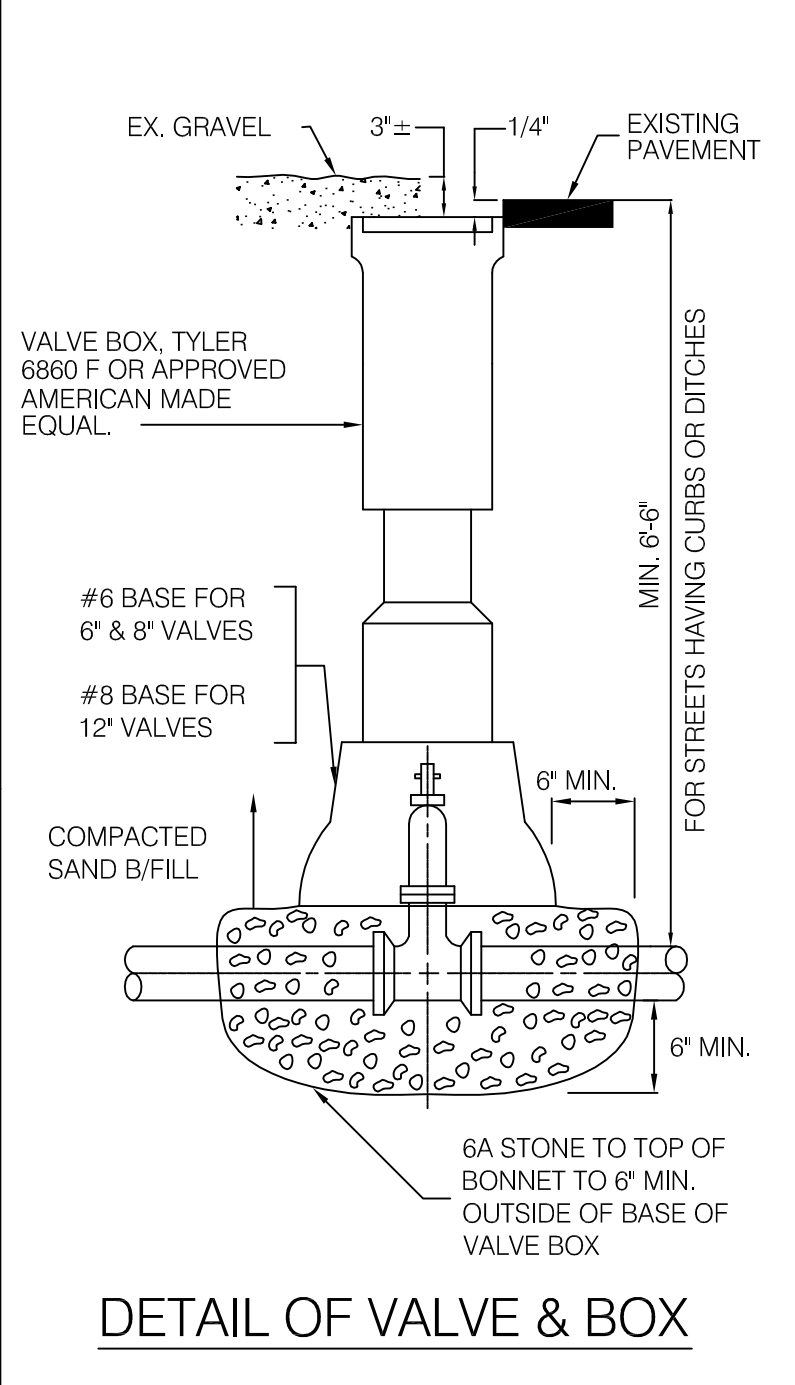
STANDARD BEDDING & BACKFILL



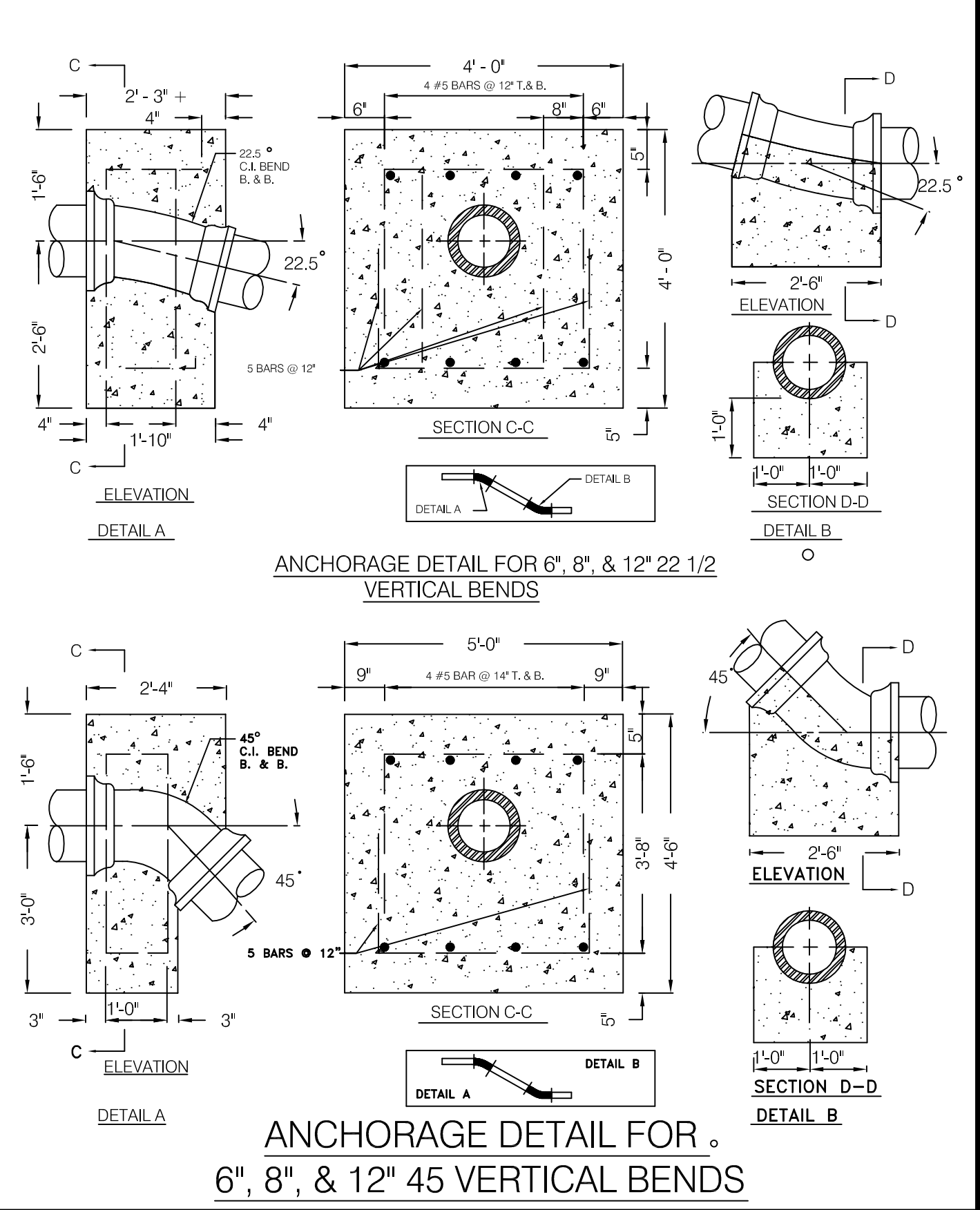
DETAIL OF PRECAST CONCRETE GATE WELL



**BACKFILLING IN THE AREA OF STREETS,
ALLEYS, SIDEWALKS, DRIVES, & PARKING AREAS**

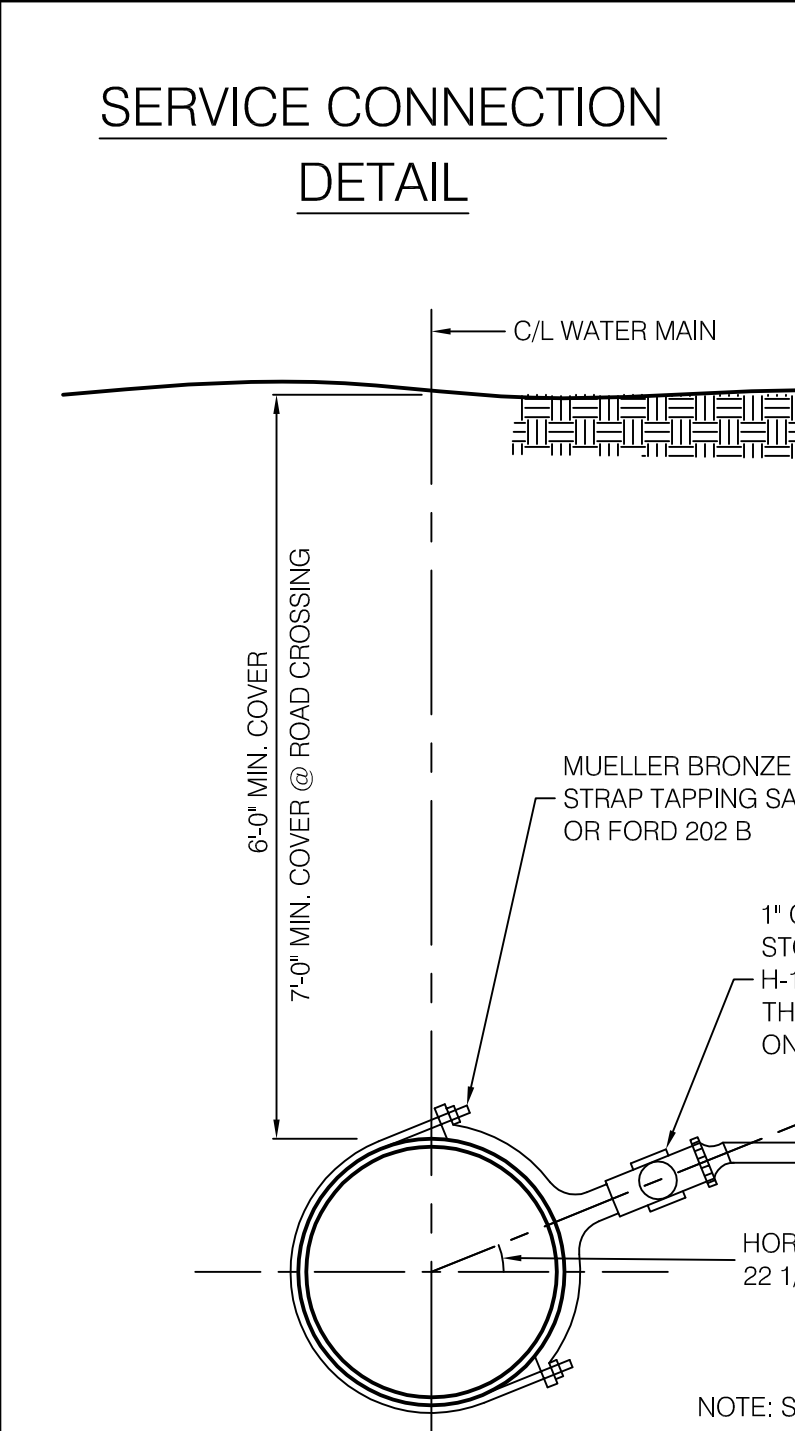


DETAIL OF VALVE & BOX



**ANCHORAGE DETAIL FOR 6\", 8\", & 12\" 22 1/2\"
VERTICAL BENDS**

**ANCHORAGE DETAIL FOR 6\", 8\", & 12\" 45\"
VERTICAL BENDS**



**SERVICE CONNECTION
DETAIL**

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DESIGN: _____

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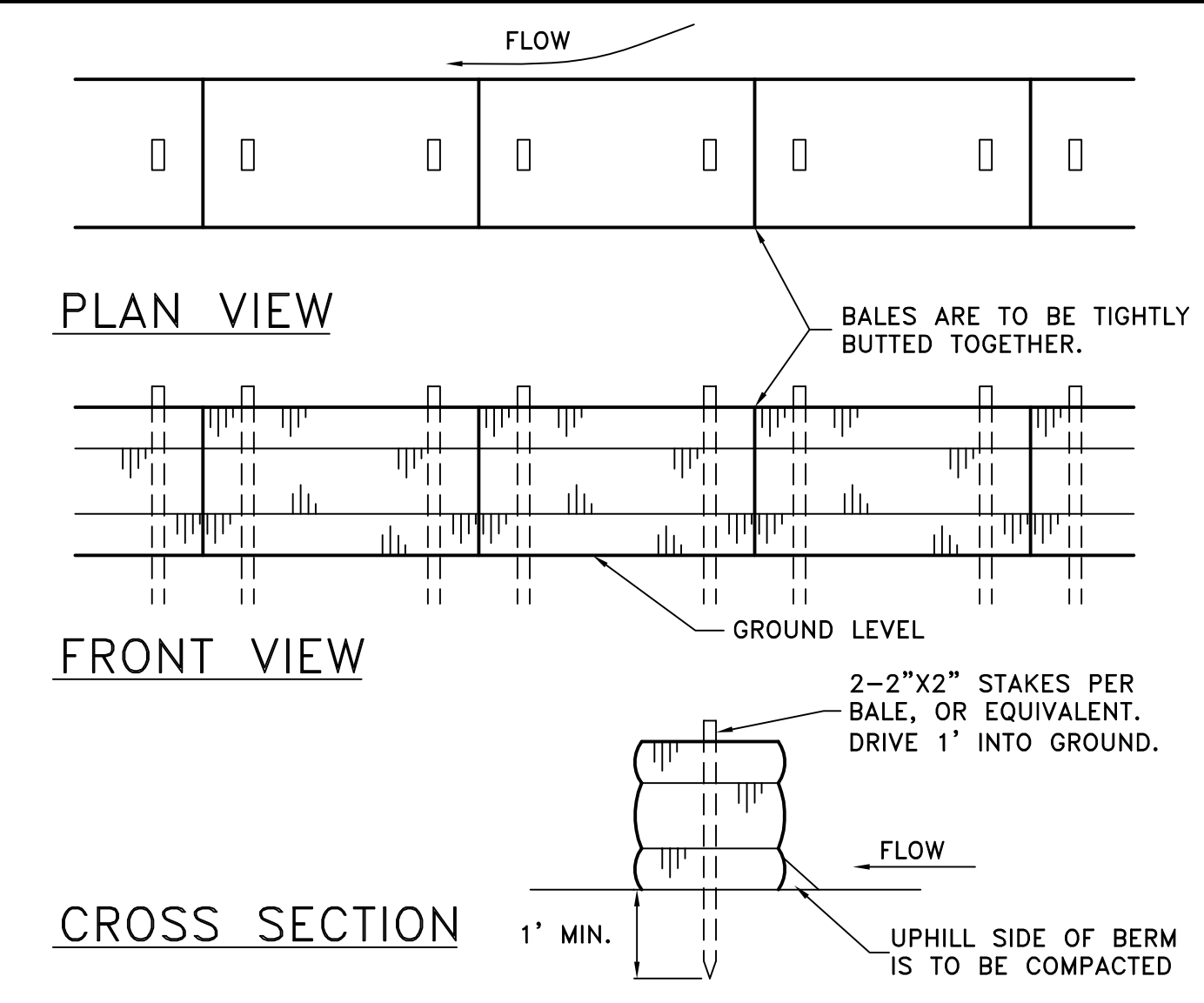
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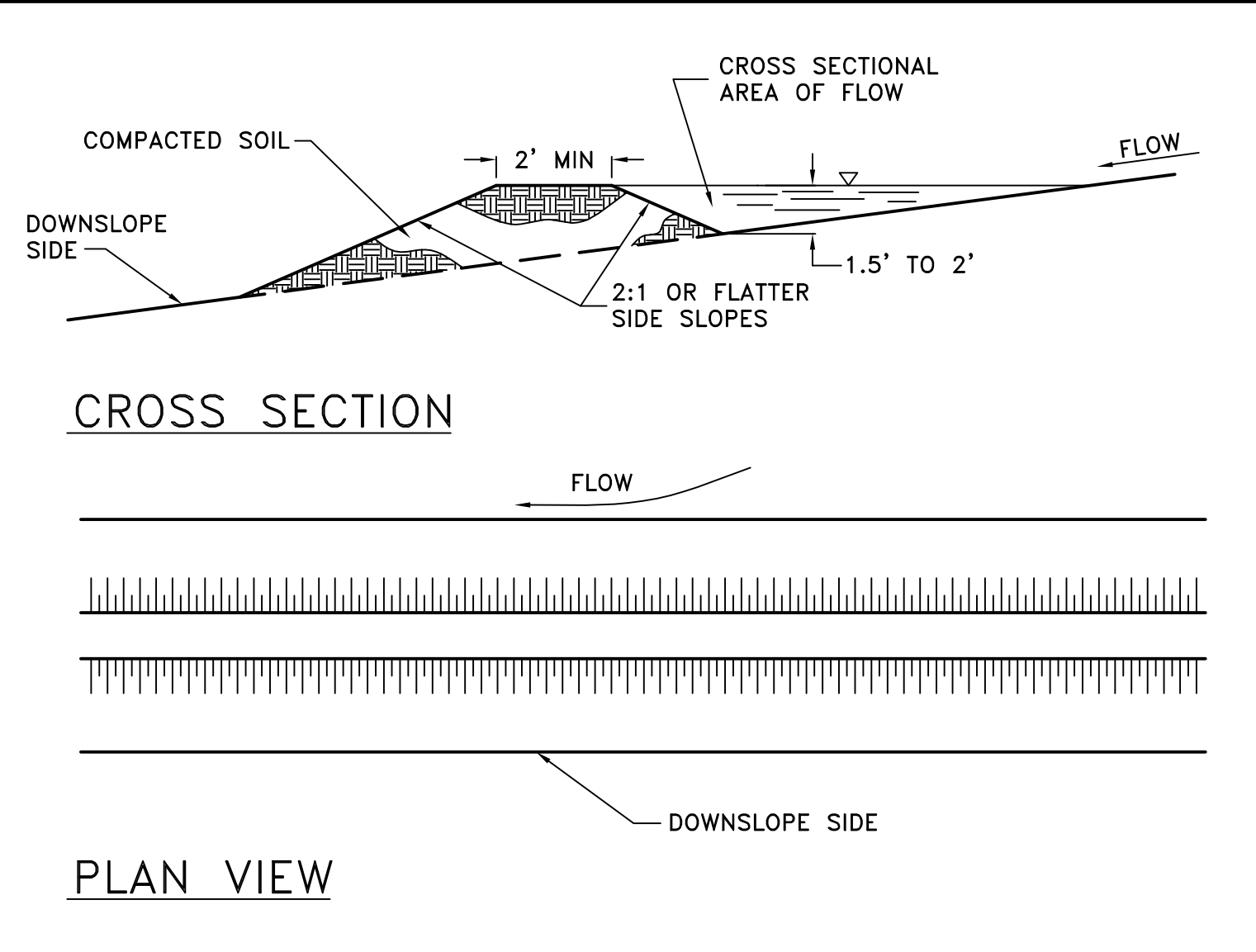
STANDARD WATER DETAILS

SCALE: VERT. 1" = 5'
HORIZ. 1" = 20'

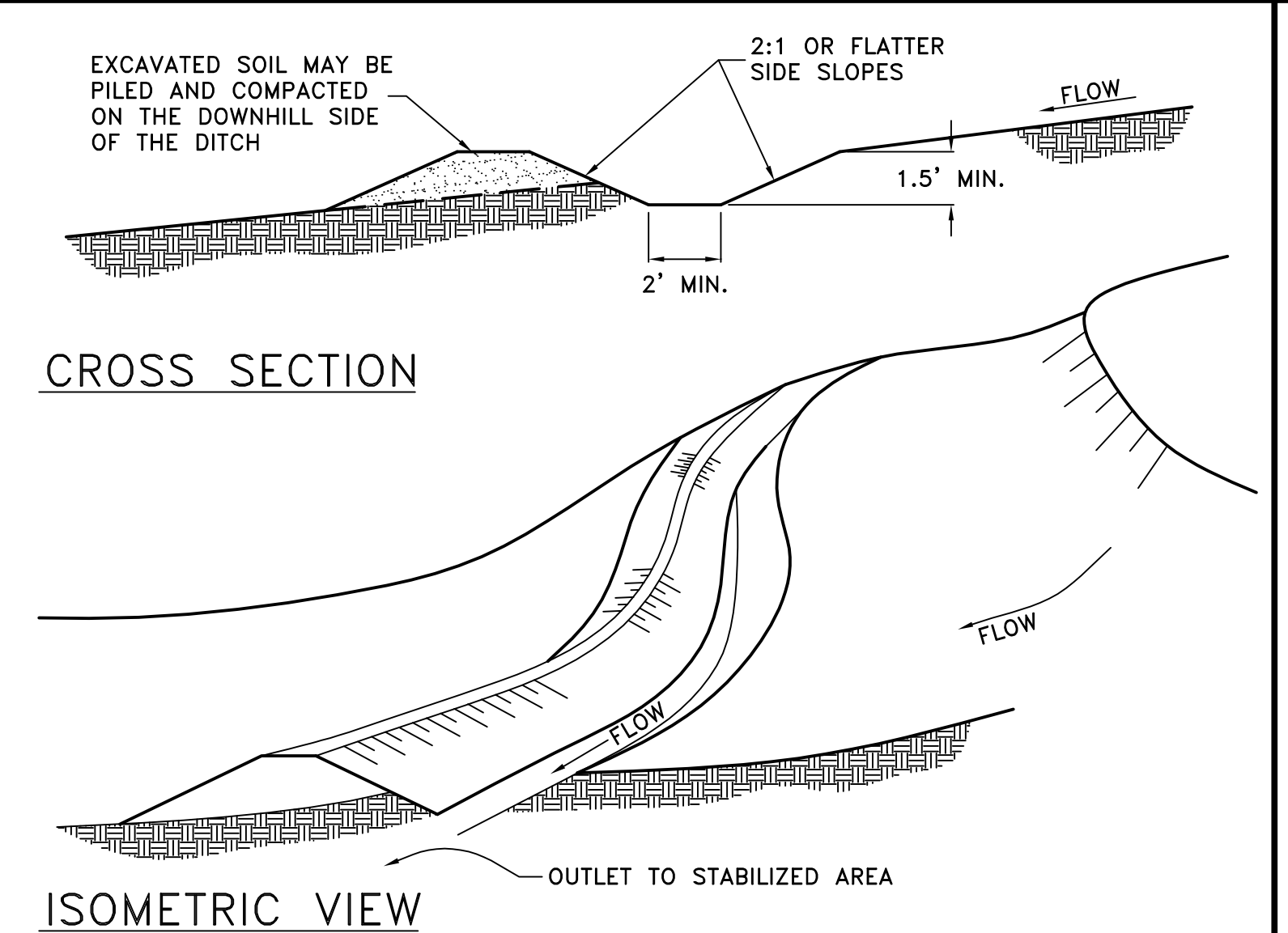
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3-1-21
SHEET NO. 10 OF 11



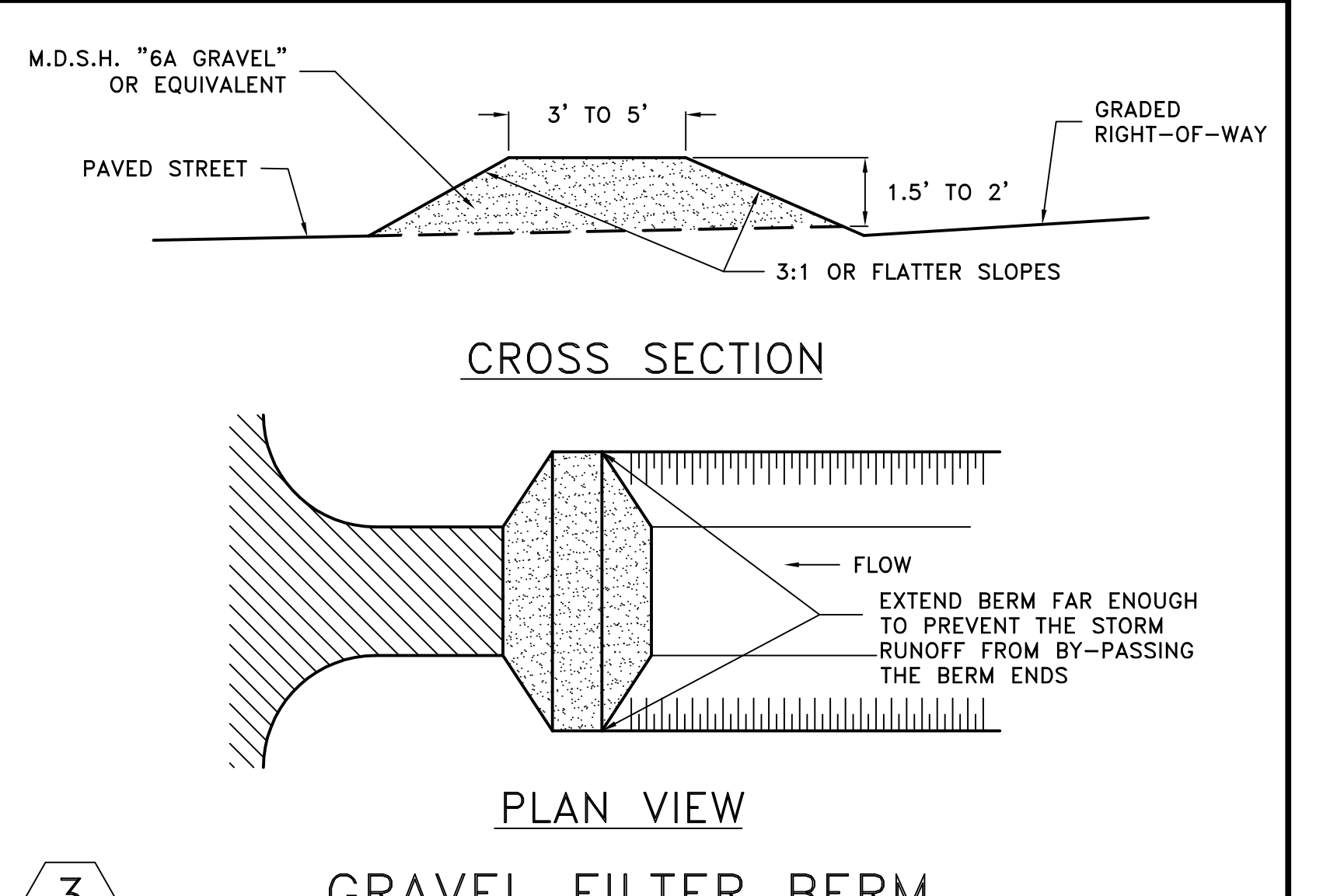
1A STRAW BALE BERM



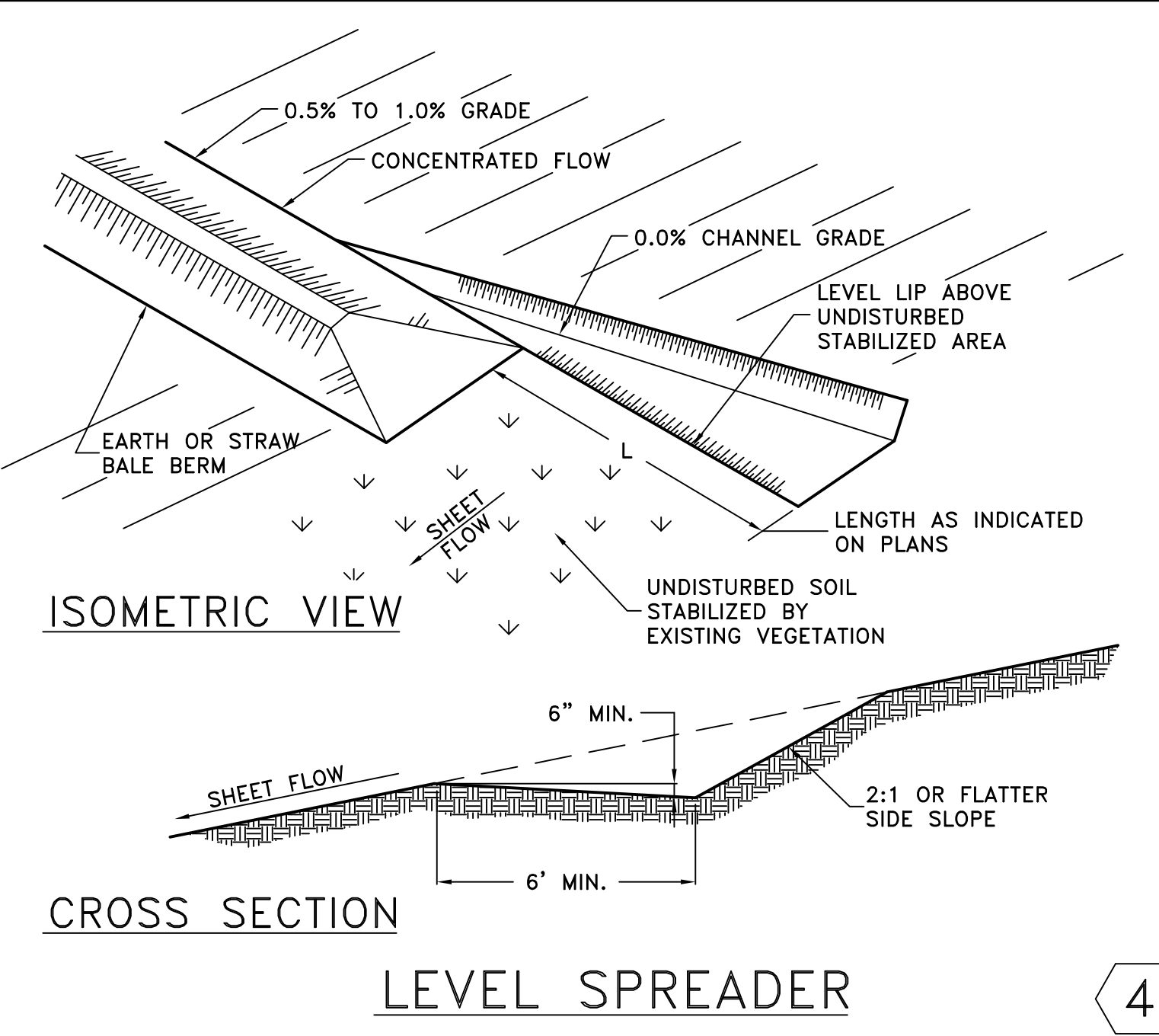
1B EARTH BERM



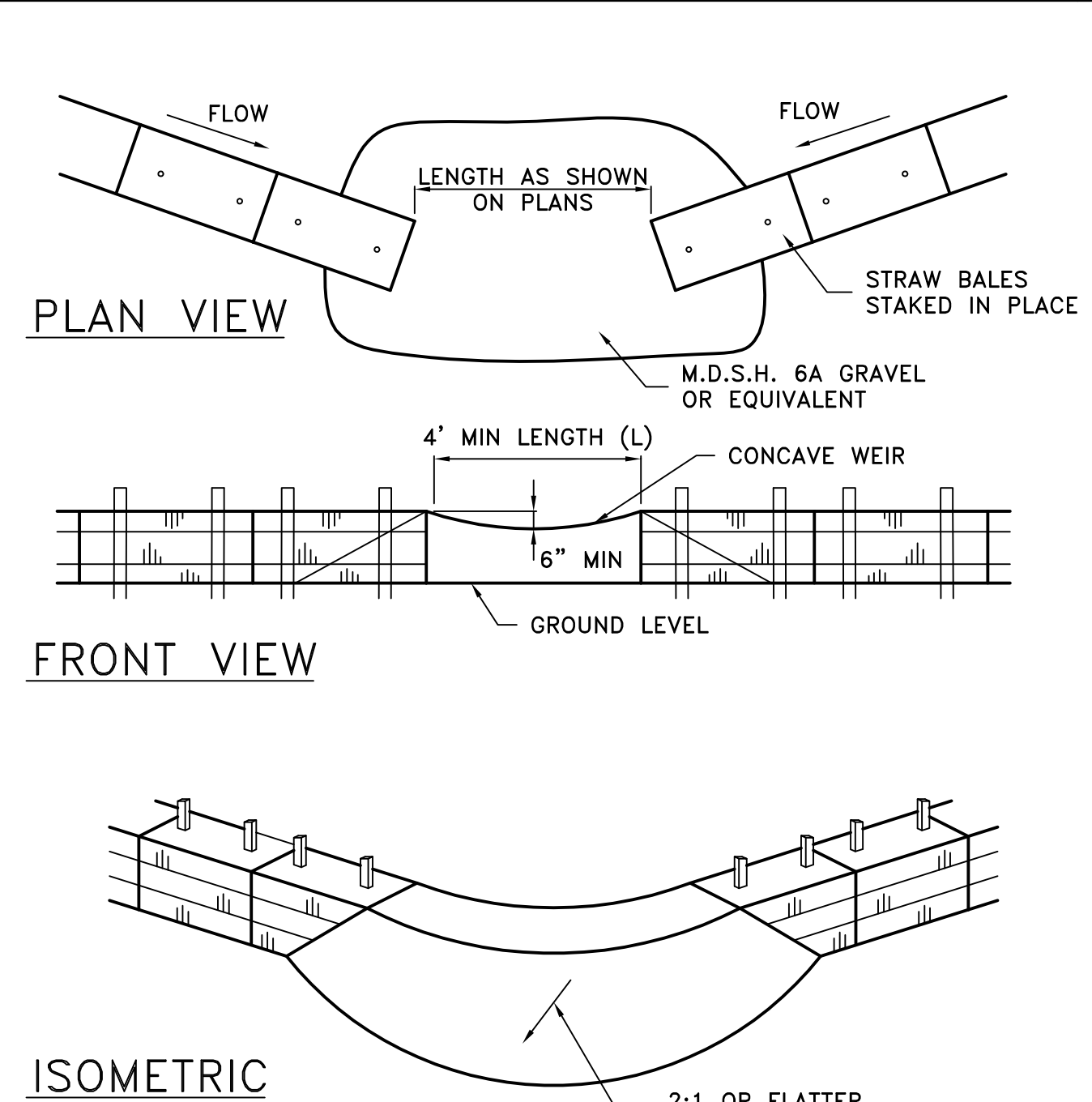
DIVERSION DITCH



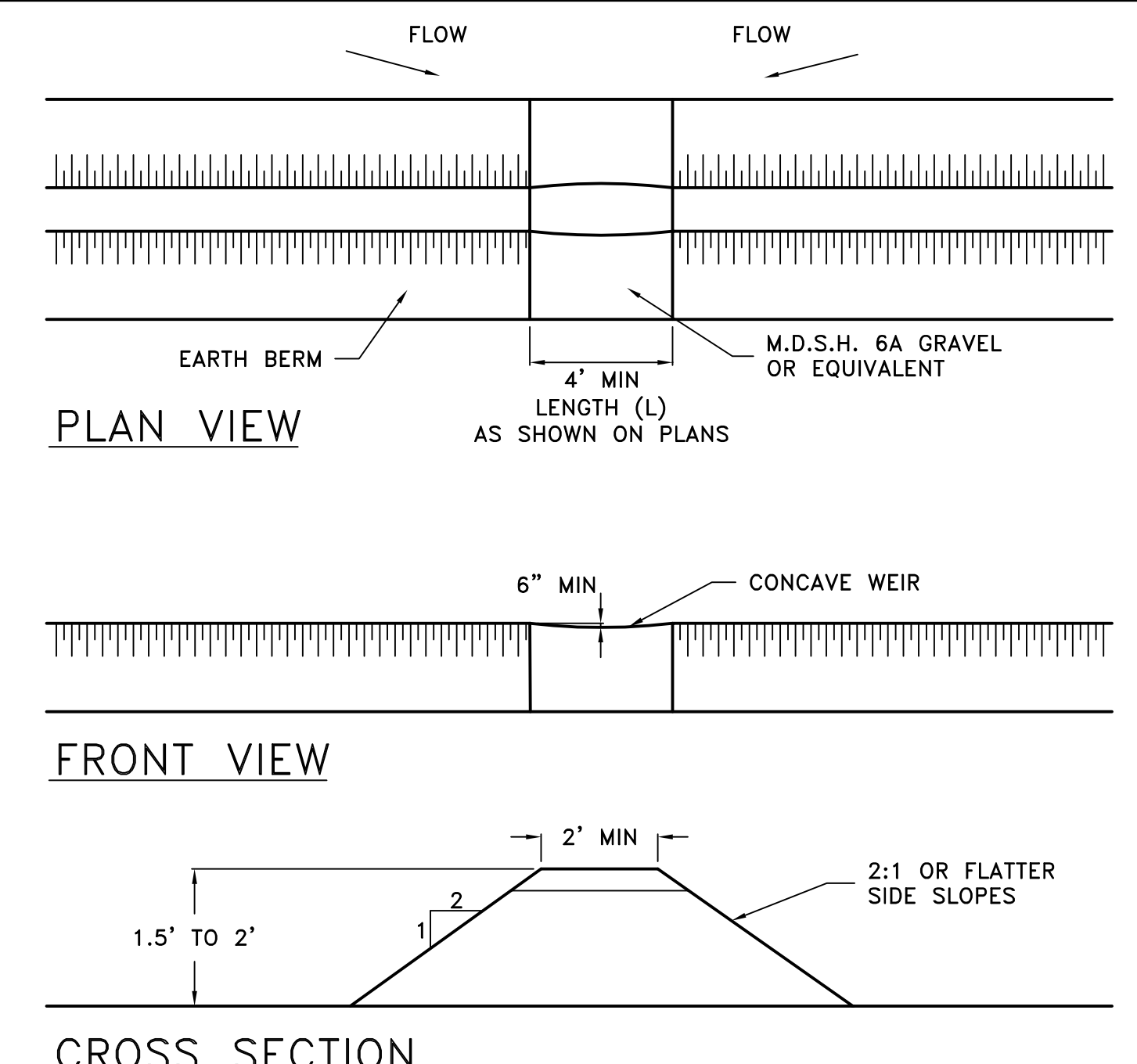
GRAVEL FILTER BERM



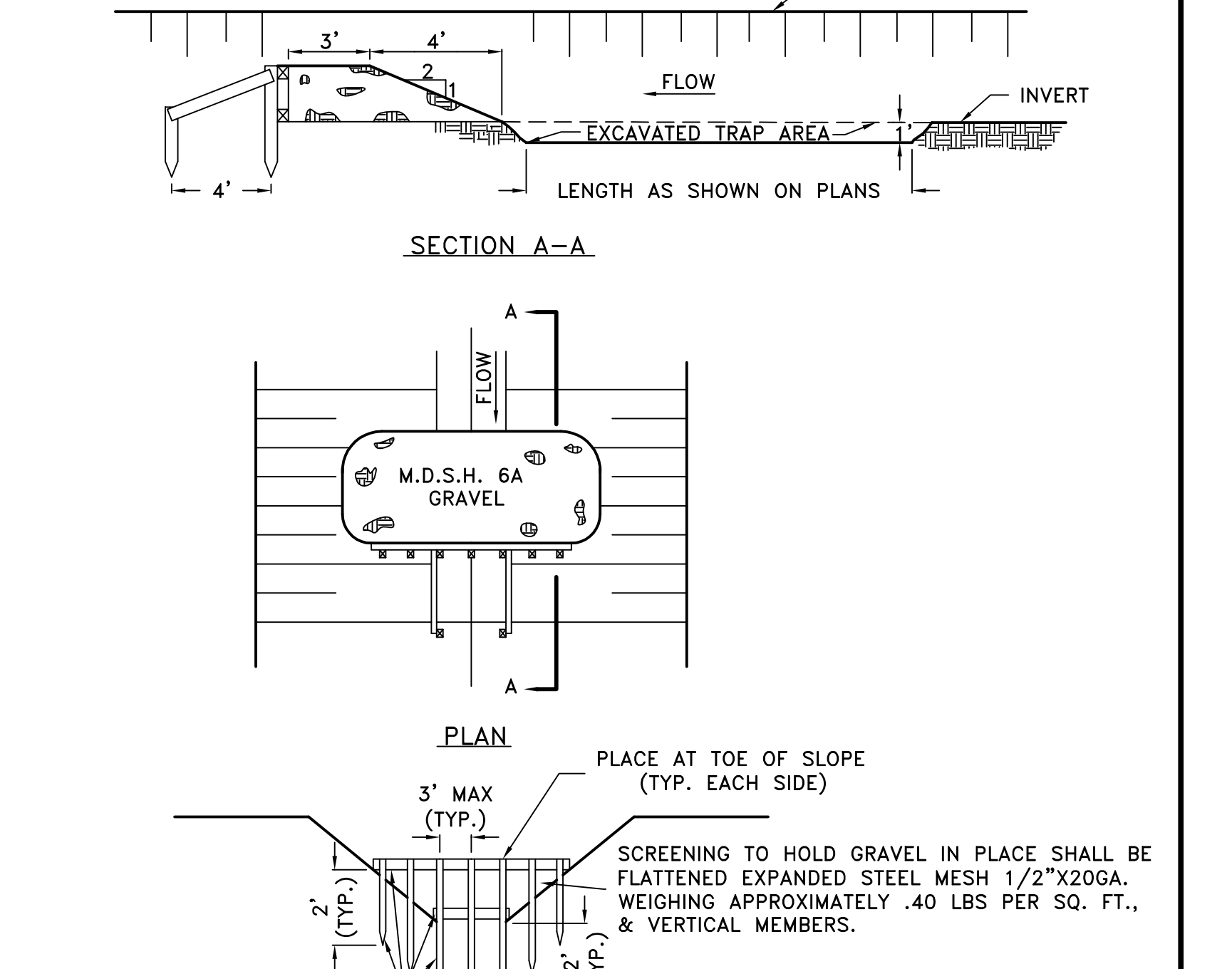
LEVEL SPREADER



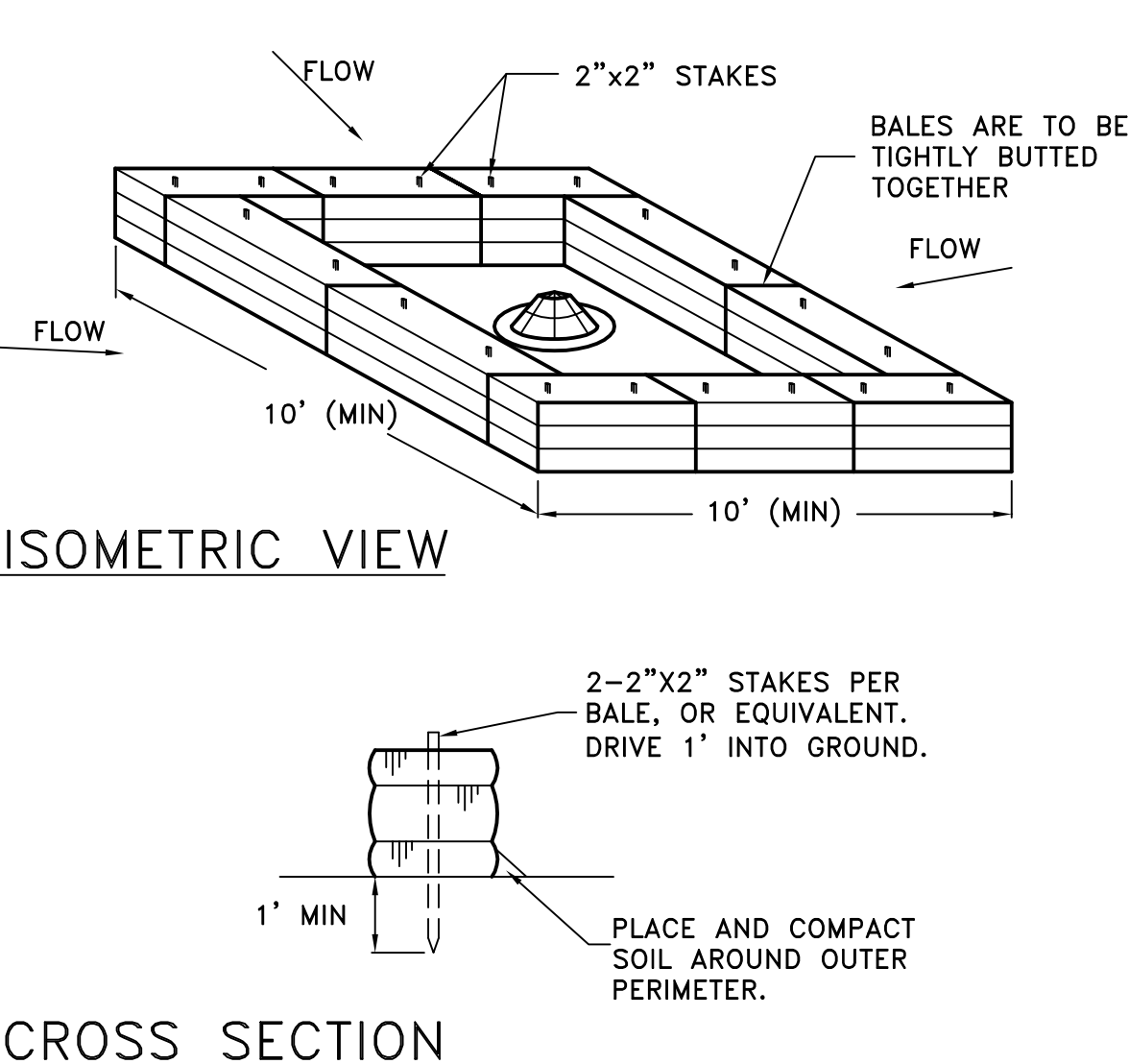
5A GRAVEL OUTLET FILTER (WITHIN A STRAW BALE BERM)



5B GRAVEL OUTLET FILTER (WITHIN AN EARTH BERM)

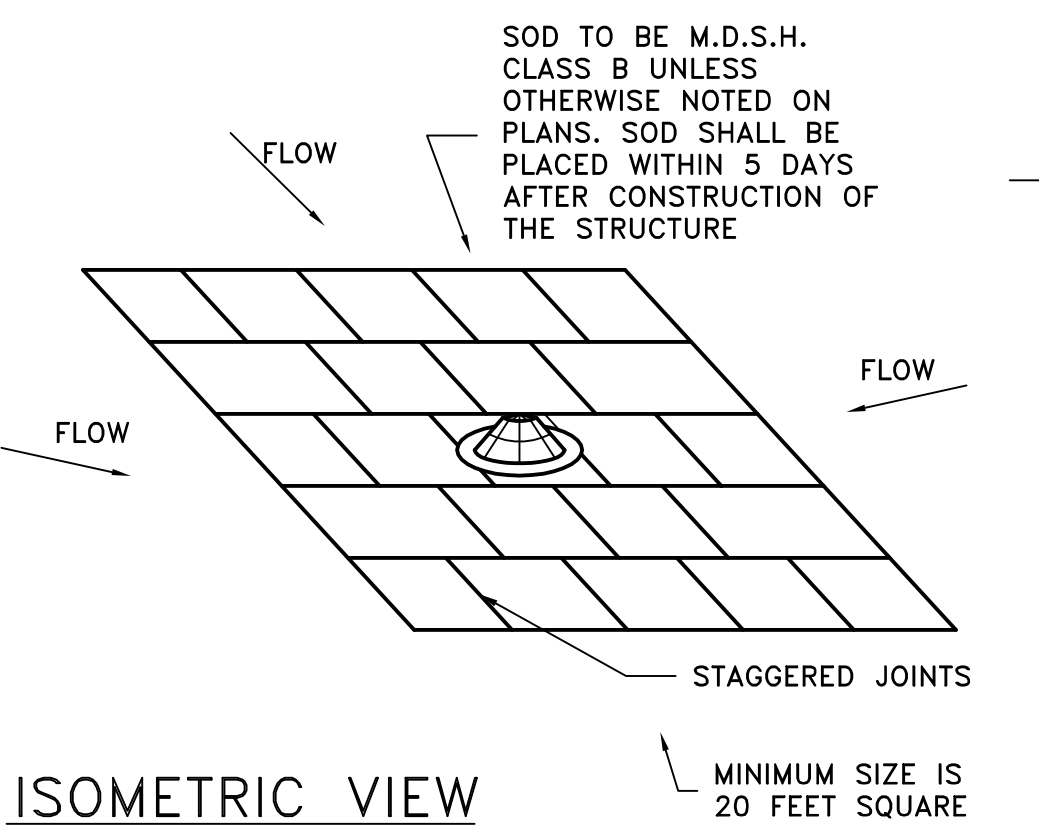


SEDIMENT TRAP

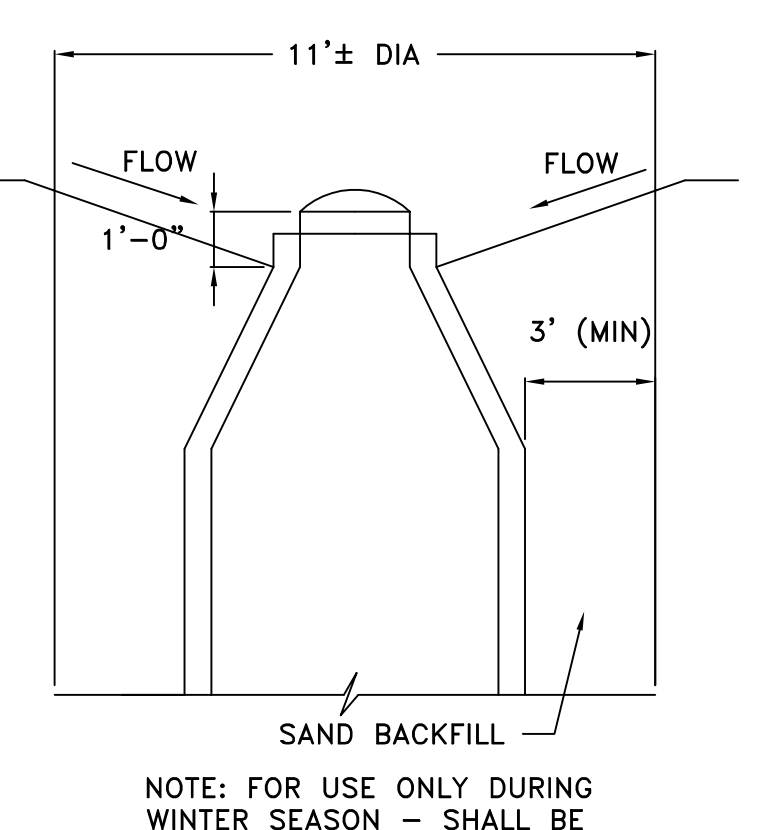


6A STRAW BALE FILTER INLET

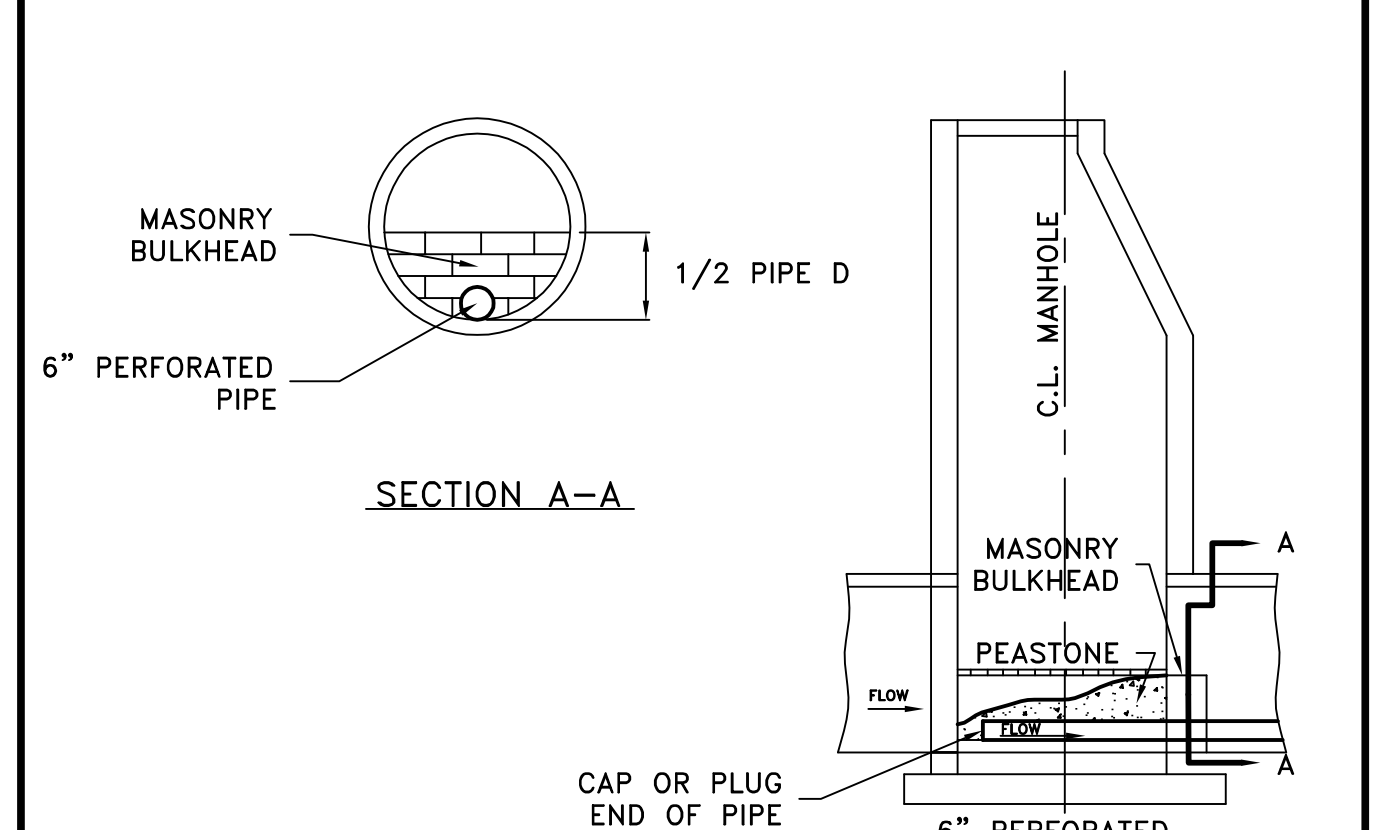
NOTES:
 INSTALL BURLAP SILT TRAPS BETWEEN ALL CATCH BASIN, & INLET, FRAMES AND COVERS. MAINTAIN BURLAP UNTIL ALL DISTURBED TRIBUTARY AREAS ARE PERMANENTLY STABILIZED WITH VEGETATION.
 ON THOSE INLETS WITH STUBS, THE STUBS SHALL ALSO BE PROTECTED WITH STRAW BALES.
 BURLAP SHALL BE CLASS 3, AASHTO DESIGNATION M182-60.



6B SOD FILTER INLET



6C SEDIMENT PIT



7 OUTLET MANHOLE TRAP WITH FILTER

NOTES
 ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) MEASURES SHALL BE INSTALLED AND MAINTAINED IN COMPLIANCE WITH PART 91, SECS. OF THE NATURAL RESOURCES AND ENVIRONMENTAL CONTROL ACT, PA 451 OF 1994, AS AMENDED.
 THE CONTRACTOR SHALL PERFORM PERIODIC MAINTENANCE OF SEDIMENTATION FILTERS AS MAY BE REQUIRED TO MAINTAIN THEIR EFFECTIVENESS.
 ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION MEASURES ARE IMPLEMENTED.
 TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES, PERIODIC MAINTENANCE AS REQUIRED DURING CONSTRUCTION, AND REMOVAL OF THESE DEVICES UPON COMPLETION OF CONSTRUCTION SHALL BE INCLUDED IN THE BID ITEM "TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES."
 SURFACE DISRUPTION IN ADVANCE OF CONSTRUCTION OF WATER MAIN, SANITARY SEWER, AND STORM SEWER (CLEARING, GRADING, OR SIGNIFICANT SOD REMOVAL) SHALL BE LIMITED AS FOLLOWS, UNLESS OTHER SPECIFIC AND EROSION AND SEDIMENT CONTROL PROVISIONS ARE PROVIDED AND FUNCTIONAL.
 A. MARCH, APRIL, MAY - 5 DAYS PRIOR TO BEGINNING ANY EARTH CHANGE ACTIVITY.
 B. JUNE, JULY, AUGUST, SEPTEMBER, OCTOBER, NOVEMBER - 10 DAYS PRIOR TO BEGINNING ANY EARTH CHANGE ACTIVITY.
 C. DECEMBER, JANUARY, FEBRUARY - 15 DAYS PRIOR TO BEGINNING ANY EARTH CHANGE ACTIVITY.
 COMPLETION OF BACKFILL AND REMOVAL OF EXCESS MATERIAL SHALL FOLLOW PIPE LAYING BY NO MORE THAN 100 FEET.

DRAWN: RDS
 DESIGN: RDS

SCALE: VERT. 1" = 5'
 HORIZ. 1" = 20'

REVISIONS	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE

ALLOUEZ TOWNSHIP
 102 SECOND STREET
 MOHAWK, MI 49950

TRAVERSE ENGINEERING SERVICES, P.C.
 701 HANCOCK STREET, HANCOCK MICHIGAN
 ENGINEERS - SURVEYORS - GEOLOGISTS
 (908) 482-6696 E-MAIL: traverseengineering@gmail.com

ALLOUEZ TOWNSHIP
 NEW FIRE HALL

EROSION CONTROL DETAILS

JOB NO. 567-00
 3-1-21
 SHEET NO. 11 OF 11

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